

@	AND	FAI	FURNISH & INSTALL	PLBG	PLUMBING
AC	ACOUSTICAL	FC	FLOORING CONTRACTOR	PLC	PLUMBING CONTRACTOR
A/C	AIR CONDITIONING	FE	FIRE EXTINGUISHER	PLYWD	PLYWOOD
ACD	ACCESS DOOR	FEC	FIRE EXTINGUISHER	PT	POINT
ACT	ACCOUSTICAL TILE		CABINET	PTD	PAINTED
AD	AREA DRAIN	FF	FINISHED FLOOR	PTN	PARTITION
ADD	ADDENDUM	FFE	FINISHED FLOOR	PV	PHOTOVOLTAIC
AFF	ABOVE FINISHED FLOOR		ELEVATION (LEVEL)	QT	QUARRY TILE
ALT	ALTERNATE	FFL	FINISHED FLOOR LINE		
ALUM	ALUMINUM	FHC	FIRE HOSE CABINET	RA	RETURN AIR
ALZN	ALUMINUM ZINC	FIN	FINISH / FINISHED	RB	RUBBER BASE
	GALVANIZED	FLD	FLOOR DRAIN	RBT	RUBBER TILE
AP	ACCESS PANEL	FLG	FLASHING	RC	REINFORCED CONCRETE
ARCH	ARCHITECT /	FLR	FLOOR	RD	ROOF DRAIN
	ARCHITECTURAL	FLUOR	FLUORESCENT	REF	REFERENCE
ASB	ASBESTOS	FT	FEET	REG	REGISTERED
ASC	ABOVE SUSPENDED	FUR	FURRED	REINF	REINFORCEMENT
	CEILING			REM	REMOVE
ASPH	ASPHALT	GB	GYPSUM BOARD	REQ	REQUIRED
		GC	GENERAL CONTRACTOR	RET	RETURN
BLDG	BUILDING	GBW	GYPSUM WALL BOARD	REV	REVISION
BM	BEAM	GYP	GYPSUM	RH	ROOF HATCH
BMO	BRICK MASONRY OPENING			RL	ROOF LADDER
BO	BOTTOM OF	HB	HOSE BIBB	RO	ROUGH OPENING
BRK	BRICK	HC	HOLLOW CORE	RM	ROOM
BUR	BUILT-UP ROOFING	HM	HOLLOW METAL	RV	ROOF VENT
		HT	HEIGHT		
CAB	CABINET	HVAC	HEATING/VENTILATING/AIR	SC	SOLID CORE
CC	CONSTRUCTION		CONDITIONING	SCHED	SCHEDULE
	CONTRACTOR			SD	STORM DRAIN
CJ	CONTROL JOINT	INCAN	INCANDESCENT	SEC	SECTION
CLG	CEILING	INFO	INFORMATION	SIM	SIMILAR
CLL	CONTRACT LIMIT LINE	INST	INSTALLATION	SK	SKYLIGHT
CM	CROWN MOULDING	INSUL	INSULATED / INSULATION	SP	STARTING POINT
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	SPEC	SPECIFICATION
COL	COLUMN			SQ	SQUARE
CONC	CONCRETE	JC	JANITOR'S CLOSET	SS	STAINLESS STEEL
CONST	CONSTRUCTION			STD	STANDARD
CONT	CONTINUOUS	KIT	KITCHEN	STL	STEEL
CONTR	CONTRACTOR			SUSP	SUSPENDED
CPT	CARPET	LAM	LAMINATE	SYM	SYMMETRICAL
CRG	CROSS GRAIN	LB	POUND		
CU.IN.	CUBIC INCHES			T&G	TONGUE & GROOVE
CU.FT.	CUBIC FEET	MAS	MASONRY	TC	TOP OF CURB
		MAX	MAXIMUM	TEL	TELEPHONE
DET	DETAIL	MC	MECHANICAL CONTRACTOR	TF	TOP OF FOOTING
DEMO	DEMOLISH, DEMOLITION	MECH	MECHANICAL	TG	TEMPERED GLASS
DIA	DIAMETER	MET	METAL	TO	TOP OF
DIFF	DIFFUSER	MIN	MINIMUM	TSL	TOP OF SLAB
DIM	DIMENSION	MISC	MISCELLANEOUS	TST	TOP OF STEEL
DPR	DAMPER	MO	MASONRY OPENING	TT	TERRAZZO TILE
DR	DOOR	MRB	MARBLE	TW	TOP OF WALL
DWG	DRAWING	MTL	MATERIAL	TYP	TYPICAL
		MUL	MULLION		
		MW	MICROWAVE	UON	UNLESS OTHERWISE NOTED
EJ	EACH EXPANSION JOINT				
EL	ELEVATION	NIC	NOT IN CONTRACT		
ELC	ELECTRICAL CONTRACTOR	NO	NUMBER	VB	VINYL BASE
ELEC	ELECTRICAL	NTS	NOT TO SCALE	VIF	VERIFY IN FIELD
ELEV	ELEVATION			VS	VENT STACK OR PIPE
ENT	ENTRANCE	OC	ON CENTER	VT	VINYL TILE
EP	ELECTRIC PANELBOARD	OPNG	OPENING		
EQ	EQUAL			WD	WOOD
EQP	EQUIPMENT			WG	WIRE GLASS
ETR	EXISTING TO REMAIN				
EX	EXISTING				
EXIST	EXISTING				

	CONTRACT LIMIT LINE		INTERIOR ELEVATION TAG
	EXISTING CONSTRUCTION TO REMAIN		DETAIL TAG
	EXISTING CONSTRUCTION TO BE DEMOLISHED	ROOM NAME 	ROOM NAME AND NUMBER
	NEW PARTITION		DOOR NUMBER
	SECTION / ELEVATION TAG		PARTITION TYPE

THIS PROJECT IS LOCATED IN THE C8 CENTRAL BUSINESS DISTRICT IN DOWNTOWN PRINCETON. A NEW 3-STORY MIXED USE BUILDING IS PROPOSED FOR THE PROPERTY. THE GROUND FLOOR AND BASEMENT WILL BE M MERCANTILE USE, AND THE SECOND AND THIRD FLOORS WILL BE R-2 RESIDENTIAL USE. THE PROPERTY IS AT THE EDGE OF PALMER SQUARE, ACROSS FROM A MAIN PUBLIC SQUARE AND PUBLIC LIBRARY, AND ALONG A MAIN THOROUGHFARE, WITHERSPOON STREET.

THE PROJECT PROPOSED TO REDEVELOP THE SITE FROM A PAVED PARKING LOT. THE REDEVELOPMENT PROPOSES TO REINSTATE THE HISTORICAL PROGRAMMATIC DIVERSITY OF THE SITE BY BRINGING BACK RESIDENTIAL AND MERCANTILE USES FROM THE 19TH AND 20TH CENTURIES. THERE WILL BE 8 RESIDENTIAL UNITS CONSISTING OF 5 DUPLEXES AND 3 APARTMENT FLATS. THE REDEVELOPMENT ALSO PROPOSES TO MIMIC THE BUILDING FABRIC DIVERSITY OF PALMER SQUARE BY USE OF SETBACKS AND DIFFERING, COMPLEMENTARY FACADE MATERIALS BETWEEN BUILDING MASSINGS.

THIS PROJECT WILL PROVIDE ADA ACCESSIBILITY FROM THE FRONT OF HULISH AND WITHERSPOON STREET AS WELL AS FROM THE REAR COURTYARD. NEW BIKE STORAGE AND CONVENIENT GARBAGE REMOVAL ARE PROPOSED IN THE REAR COURTYARD AND LOADING DOCK, RESPECTIVELY.

THE GROUND FLOOR AND BASEMENT WILL BE CONSTRUCTED OF STEEL FRAMING. THE RESIDENTIAL UPPER LEVELS WILL CONSIST OF CONVENTIONAL WOOD FRAMING WITH A FIRE SEPARATION BETWEEN USES. A RESIDEINTEL SPRINKLER SYSTEM WILL BE INSTALLED.

FIRE PROTECTION PRACTICES

THE BUILDING SHALL HAVE FIRE RATED CONSTRUCTION FOR WALLS AND FLOORS BETWEEN DWELLING UNITS AND CORRIDORS. ALL CORRIDORS, COMMON AREAS AND DWELLING UNITS SHALL BE PROVIDED WITH SMOKE DETECTORS AS PART OF THE SMOKE DETECTION SYSTEM. ALL DWELLING UNITS SHALL BE PROVIDED WITH PORTABLE FIRE EXTINGUISHERS.




1.	ALL MATERIAL, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE 2018 - NEW JERSEY EDITION, THE UNIFORM CONSTRUCTION CODE (NJAC 5:23) THE INTERNATIONAL CODE COUNCIL (ICC), THE AMERICANS WITH DISABILITY ACT, (ADA) AND ANY OTHER APPLICABLE CODES.	30.	GENERAL CONTRACTOR IS RESPONSIBLE TO FIRESTOP, CAULK AND SEAL PENETRATIONS PERFORMED BY SUB CONTRACTORS UNLESS ALTERNATE AGREEMENT IS IN PLACE. CAULK TO BE LOW VOC
2.	THE GENERAL CONTRACTOR SHALL FURNISH ADEQUATE LIABILITY INSURANCE AND BONDING AS REQUIRED BY THE OWNER AND MUNICIPAL REGULATIONS SPECIFICATIONS AND GENERAL CONDITIONS.	31.	GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION DOCUMENTS FROM ALL TRADES TO LOCATE ANY AND ALL DUCT, PIPE, CONDUIT, ELECTRIC PENETRATIONS OR SLEEVES IN CONSTRUCTION AND COORDINATING THESE LOCATIONS WITH OTHER TRADES AND THEIR SHOP DRAWINGS BEFORE WALLS AND PARTITIONS ARE PUT IN PLACE.
3.	ANY DIMENSIONAL DISCREPANCIES BETWEEN THE PLANS, SECTIONS, ELEVATIONS AND DETAILS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR FOR RESOLUTION PRIOR TO THE START OF WORK.	32.	CONTRACTOR IS REQUIRED TO HAVE ON SITE PRE-INSTALLATION TRAINING WITH THE MANUFACTURER OR MANUFACTURER'S REPRESENTATIVE FOR DOOR HARDWARE PRIOR TO OR IN CONJUNCTION WITH HANGING EACH HARDWARE SET. CONTRACTOR TO NOTIFY ARCHITECT AND OWNER WHEN TRAINING WILL OCCUR.
4.	ANY INCONSISTENCIES IN THE NOTES, SYMBOLS, LEGENDS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR FOR RESOLUTION PRIOR TO THE START OF WORK.	33.	THERE SHOULD BE NO MORE THAN 1/16" EASED EDGES ON ALL NEW WOOD TRIM IF SPECIES OF WOOD REQUIRES EASED EDGES, PROVIDE A SAMPLE FOR ARCHITECT'S APPROVAL.
5.	ANY INCONSISTENCIES BETWEEN THE DRAWINGS AND TECHNICAL SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR FOR RESOLUTION PRIOR TO THE START OF WORK.	34.	ALL WOOD PANELS ARE EDGE Banded WITH MINIMUM 1/4" SOLID STOCK VENEER EXTENDING OVER EDGE BAND UNLESS OTHERWISE NOTED.
6.	ALL CONTRACTORS AND SUBCONTRACTORS MUST CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF WORK.	35.	EXISTING AND NEW DOORS SHALL BE UNDERCUT 1/4" HIGHER THAN THE FINISH FLOOR, COORDINATE WITH AIR TRANSFER REQUIREMENTS IN MECHANICAL SECTION, U.O.N.
7.	ALL CONTRACTORS SHALL MAINTAIN SAFE EGRESS AT ALL TIMES TO ALL-BUILDING EXITS. ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES. IF IT IS NECESSARY TO PROVIDE TEMPORARY PATHS OF EGRESS, ALL DETAILS OF SAME SHALL BE APPROVED BY LOCAL FIRE DEPARTMENT AS WELL AS OWNER.	36.	ALL TRIM (RECESSED FIXTURES), DIFFUSERS, REFLECTORS, SPRINKLER COVERS, SWITCHES, OUTLETS, COVERS, LIGHT TRACKS, AND TRACK LIGHTS AND OTHER MOUNTED DEVICES ARE TO BE PAINTED TO MATCH THE SURFACE IN WHICH THEY SIT OR PROVIDED IN A COLOR TO BE SELECTED BY ARCHITECT.
8.	DAMAGE TO PROPERTY SHALL BE CORRECTED BY THE CONTRACTOR SO INVOLVED. IF AREA IS NOT REPAIRED IN A REASONABLE TIME, OWNER HAS THE RIGHT TO TAKE OVER THE WORK WITH ITS OWN FORCES AND ANY COST WILL BE DEDUCTED AGAINST THE CONTRACTOR'S CONTRACT.	37.	DO NOT SCALE THE DRAWINGS, FOLLOW DIMENSIONS INDICATED ON DRAWINGS. ALL DIMENSIONS ARE TO BE VERIFIED ON FIELD, AS DISCREPANCY MAY HANGING SCHEDULE ONLY. IF CLARIFICATION IS NEEDED IN REFERENCE TO A PARTICULAR DIMENSION, CONTACT THE ARCHITECT.
9.	THE GENERAL CONTRACTOR SHALL BE REQUIRED TO ESTABLISH STAGING AND PHASING PLANS TO COORDINATE WITH ALL SUB CONTRACTORS. SUCH PLANS SHALL BE UPDATED PERIODICALLY. PLANS SHALL SHOW STORAGE AREAS, TRAILERS, FENCES, LOCATION OF CRANES AND/OR HOISTS THAT MAY BE REQUIRED, TEMPORARY FACILITIES AND ACCESS ROUTES TO AND WITHIN THE BUILDING. SUCH A PLAN SHALL BE SUBMITTED BEFORE THE START OF THE PROJECT. SUCH STAGING AND PHASING PLAN SHALL ALSO COMPLY WITH THE WORK RULES AS WELL AS THE GENERAL STAGING PLAN ESTABLISHED BY THE OWNER, ARCHITECT AND OWNER'S REPRESENTATIVE.	38.	CONTRACTOR TO PROVIDE FIRE EXTINGUISHERS FOR EMERGENCY DURING CONSTRUCTION
10.	GENERAL CONTRACTOR SHALL PROVIDE 2 EMPLOYEE TOILETS AT STAGING AREA FOR THE USE OF ALL CONTRACTORS' EMPLOYEES OR GAIN PERMISSION FROM BUILDING MANAGEMENT FOR USE OF BUILDING TOILETS.	39.	NO USE OF TOBACCO PRODUCTS IS PERMITTED ON THE CONSTRUCTION SITE.
11.	PARKING LOCATIONS FOR CONTRACTORS' VEHICLES, ACCEPTABLE HOURS FOR DEMOLITION, CONSTRUCTION, AND MATERIAL DELIVERY OR REMOVAL, AND ANY OTHER SPECIAL REQUIREMENTS ARE TO BE VERIFIED WITH THE OWNER, THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF WORK.	40.	CONTRACTOR TO PROVIDE ADDITIONAL REINFORCEMENTS FOR SUSPENDED CEILING SYSTEMS (INC. ACOUSTIC) AS RECOMMENDED BY MANUFACTURER AT LOCATIONS OF LIGHTS AND DEVICE PENETRATIONS.
12.	GENERAL CONTRACTOR SHALL MAINTAIN A DAILY REPORT INDICATING TRADE(S) WORKED AND NUMBER OF WORKERS, WORK COMPLETED, MATERIALS DELIVERED, WEATHER CONDITIONS AND ANY UNUSUAL EVENTS. A COPY OF SUCH A REPORT SHALL BE PROVIDED TO THE ARCHITECT AND OWNERS REPRESENTATIVE ON A BI-WEEKLY BASIS AND WHEN REQUESTED.	41.	ALL WORK PERTAINING TO THESE DRAWINGS SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND IN AGREEMENT WITH ALL AGENCIES HAVING JURISDICTION. ALL TRADE CONTRACTORS SHALL BE LICENSED AND INSURED TO PERFORM THE WORK OUTLINED IN THE CONSTRUCTION DOCUMENTS.
13.	ALL CONTRACTORS SHALL COMPLY WITH OSHA RULES & REGULATIONS	42.	GYPSON BOARD SHALL BE APPLIED TO ALL METAL FRAMING PRIOR TO ANY OTHER FINISHES BEING ATTACHED.
14.	UNLESS A LONGER GUARANTEE IS SPECIFIED, ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN ACCORDANCE WITH THE	43.	ALL GYPSON BOARD SHALL BE FIRE RATED TYPE (TYPE X).
		44.	ALL ROUGH FRAMING AND BLOCKING SHALL BE FIRE-RETARDANT-TREATED.
		45.	BENJAMIN MOORE, SHERWIN WILLIAMS, AND MYTHIC PAINTS ARE ACCEPTABLE PAINT MANUFACTURERS ALL OTHERS MUST HAVE THE APPROVAL OF THE ARCHITECT. ONLY NO-VOC PAINTS ARE TO BE USED
		46.	THE GENERAL CONTRACTOR SHALL INFORM THE ARCHITECT OF THE COMPLETION OF DEMOLITION, AND SHALL INSPECT THE WORK AREA WITH THE ARCHITECT TO IDENTIFY CONFLICTS PRIOR TO PROCEEDING WITH WORK. ALL CONFLICTS DISCOVERED SHALL BE INCORPORATED INTO THE SHOP DRAWINGS BY THE GENERAL CONTRACTOR.

PROJECT LOCATION

The map shows the festival location at the corner of Mifflin St and Hulth St, marked by a black rectangle. Surrounding streets include Paul Robeson Pl, Wiggins St, Spring St, and Hulth St. Various landmarks and businesses are labeled, such as Terra Momo Bread Company, Princeton Environmental Film Festival, Princeton Public Library, and various restaurants and cafes. A north arrow is located in the bottom right corner.

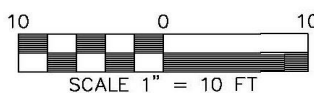
Architectural floor plan of the Witherspoon building. The plan shows a complex layout with multiple rooms, corridors, and a central courtyard area. The building is labeled "WITHERSPOON" and "HULFISH". A north arrow is located in the bottom right corner, pointing towards the top right of the page.

ARCHITECTURE	SHEET NAME
T1-0	COVER SHEET & GENERAL NOTES
T1-1	EXISTING SITE PHOTOGRAPHS
A0-1	SITE PLANS AND AREA CALCULATIONS
A0-2	LIFE SAFETY PLANS & CODE INFO
A1-0	BASEMENT PLAN
A1-1	GROUND FLOOR PLAN
A1-2	SECOND FLOOR PLAN
A1-3	THIRD FLOOR PLAN
A1-4	ROOF PLAN
A3-1	SITE ELEVATIONS
A3-2	EXTERIOR ELEVATIONS
A3-3	EXTERIOR ELEVATIONS
A6-1	SIGNAGE
A6-2	LIGHTING
CIVIL ENGINEERING	
1	COVER SHEET
2	BOUNDARY AND TOPOGRAPHIC SURVEY
3	DEMOLITION PLAN
4	SITE PLAN
4A	TRUCK ACCESSIBILITY PLAN
5	GRADING AND DRAINAGE PLAN
6	UTILITIES PLAN
7	LANDSCAPE AND LIGHTING PLAN
8	SOIL EROSION AND SEDIMENT CONTROL PLAN AND NOTES
9	SESC DETAILS
10	CONSTRUCTION DETAILS
11	CONSTRUCTION DETAILS
12	CONSTRUCTION DETAILS
OWNER:	EA PROPERTIES LLC
ADDRESS:	PALMER SQUARE MANAGEMENT 40 NASSAU STREET, PRINCETON, NJ 08542
APPLICANT:	PALMER SQUARE MANAGEMENT, LLC
SIGNATURE:	_____ LORI RABON VICE PRESIDENT
APPROVED BY THE PLANNING BOARD OF PRINCETON AS A MAJOR SITE PLAN:	
CHAIRMAN	_____ DATE
SECRETARY	_____ DATE
ENGINEER	_____ DATE

ARCHITECT	
<div>JZA+D</div> <div>JOSHUA ZINDER ARCHITECTURE + DESIGN</div>	
20 NASSAU STREET, PRINCETON, (T) 609 924 5004	SUITE 2S NEW JERSEY 08542 (F) 609 924 5008
CIVIL ENGINEER	
<div><div>E&LP</div></div> <div>200 AMERICAN METRO BLVD, SUITE 11A, HAMILTON, NJ 08619 T: 609-654-3351, F: 908-234-9753</div>	
MECHANICAL AND PLUMBING	
ELECTRICAL	
FIRE PROTECTION	
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11-09-2020	MUNICIPAL REVIEW
DATE	ISSUED FOR
	SEAL
DATE: _____	
STATE OF NEW JERSEY REGISTERED ARCHITECT JOSHUA B. ZINDER NJ 15316	
PROJECT NAME:	
<div>GRIGG'S CORNER</div> <div>54-60 WITHERSPOON STREET PRINCETON, NJ 08542</div>	
DRAWING NAME:	
<div>COVER SHEET & GENERAL NOTES</div>	
DRAWN BY: JL, MP	PROJECT NO.: 21920
DATE: 12/23/19	SCALE: As indicated
SHEET NUMBER	
T1-0	



- LEGEND**
- GAS UTILITY
 - WATER UTILITY
 - ELECTRICAL UTILITY
 - STORMWATER UTILITY
 - SANITARY SEWER UTILITY
 - TELECOM UTILITY



1 EXISTING SITE SURVEY
SCALE : 1/16" = 1'-0"

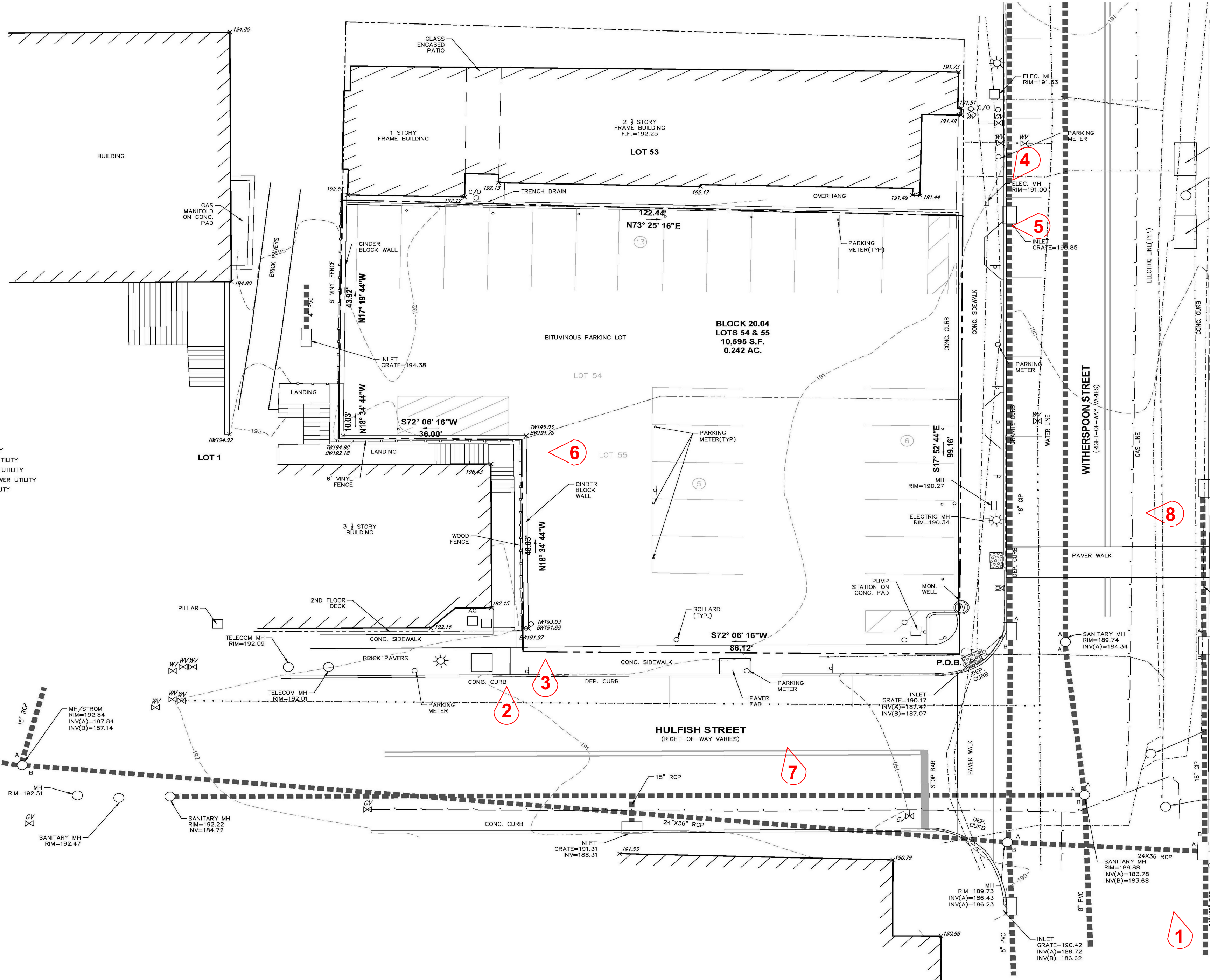


IMAGE #8_NORTH LOT BOUNDARY



IMAGE #7_NORTH LOT BOUNDARY



IMAGE #6_VIEW FROM STAIRS @ SOUTH BOUNDARY



IMAGE #1_CORNER YARD FACING PRINCETON PUBLIC LIBRARY FROM WITHERSPOON STREET



IMAGE #2_SOUTH LOT BOUNDARY



IMAGE #3_SOUTH LOT BOUNDARY



IMAGE #4_NORTH LOT BOUNDARY



IMAGE #5_NORTH LOT BOUNDARY

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DATE

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SEAL

DATE: _____

STATE OF NEW JERSEY REGISTERED ARCHITECT
JOSHUA B. ZINDER
NJ 15316

PROJECT NAME

GRIGG'S CORNER

54-60 WITHERSPOON STREET
PRINCETON, NJ 08542

DRAWING NAME

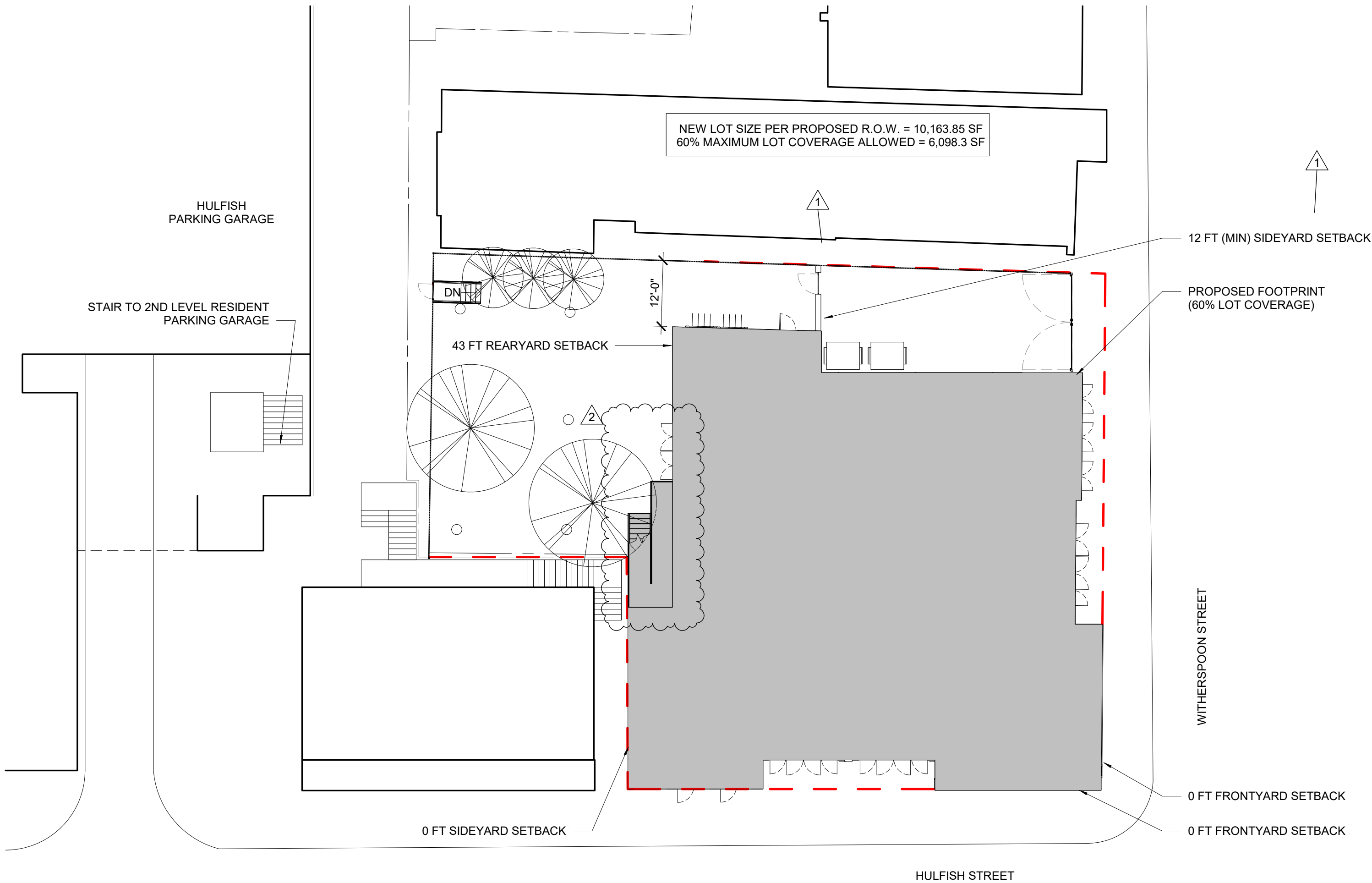
EXISTING SITE PHOTOGRAPHS

DRAWN BY: JL, MP PROJECT NO.: 21929

DATE: 12-23-2019 SCALE: As indicated

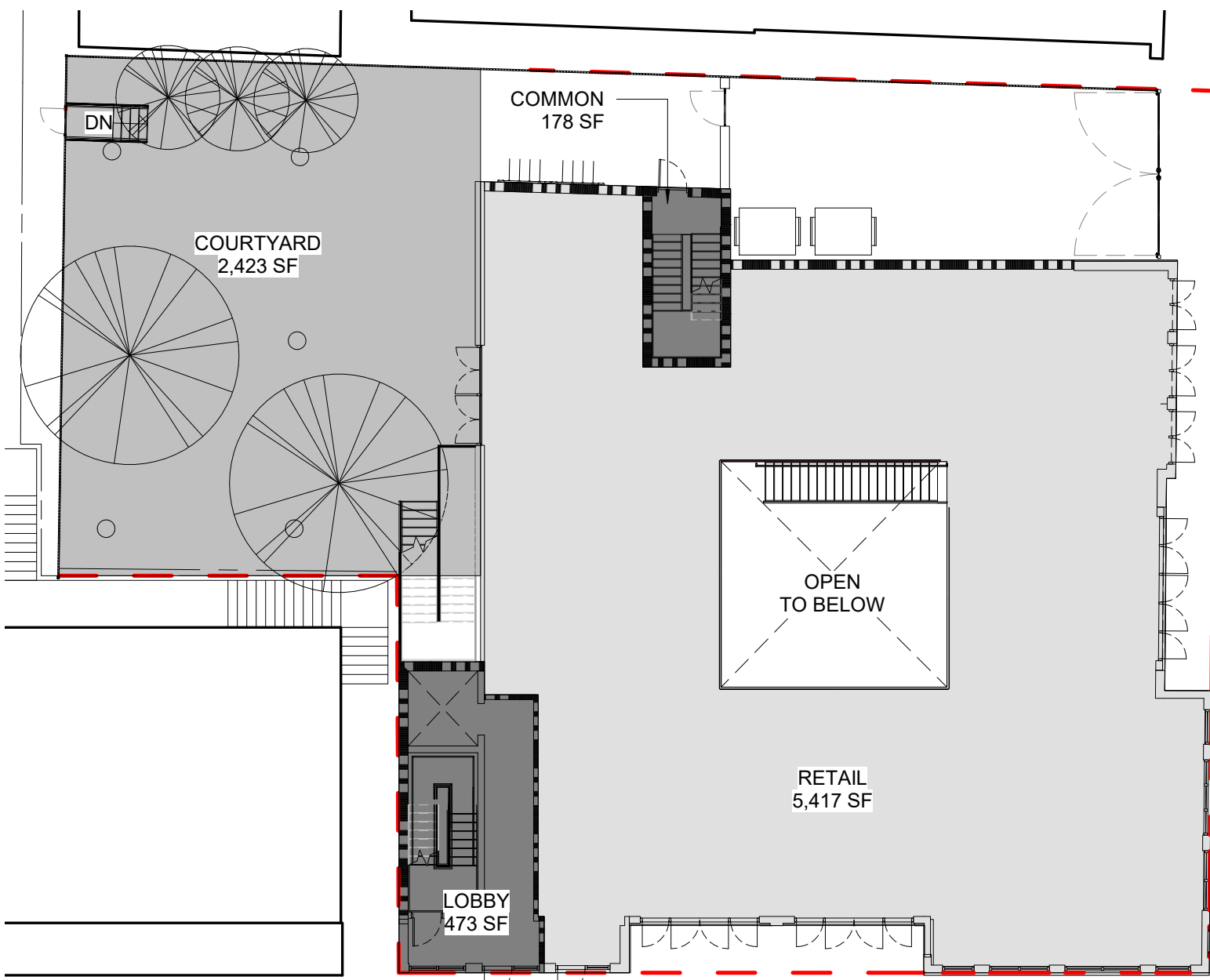
SHEET NUMBER

T1-1



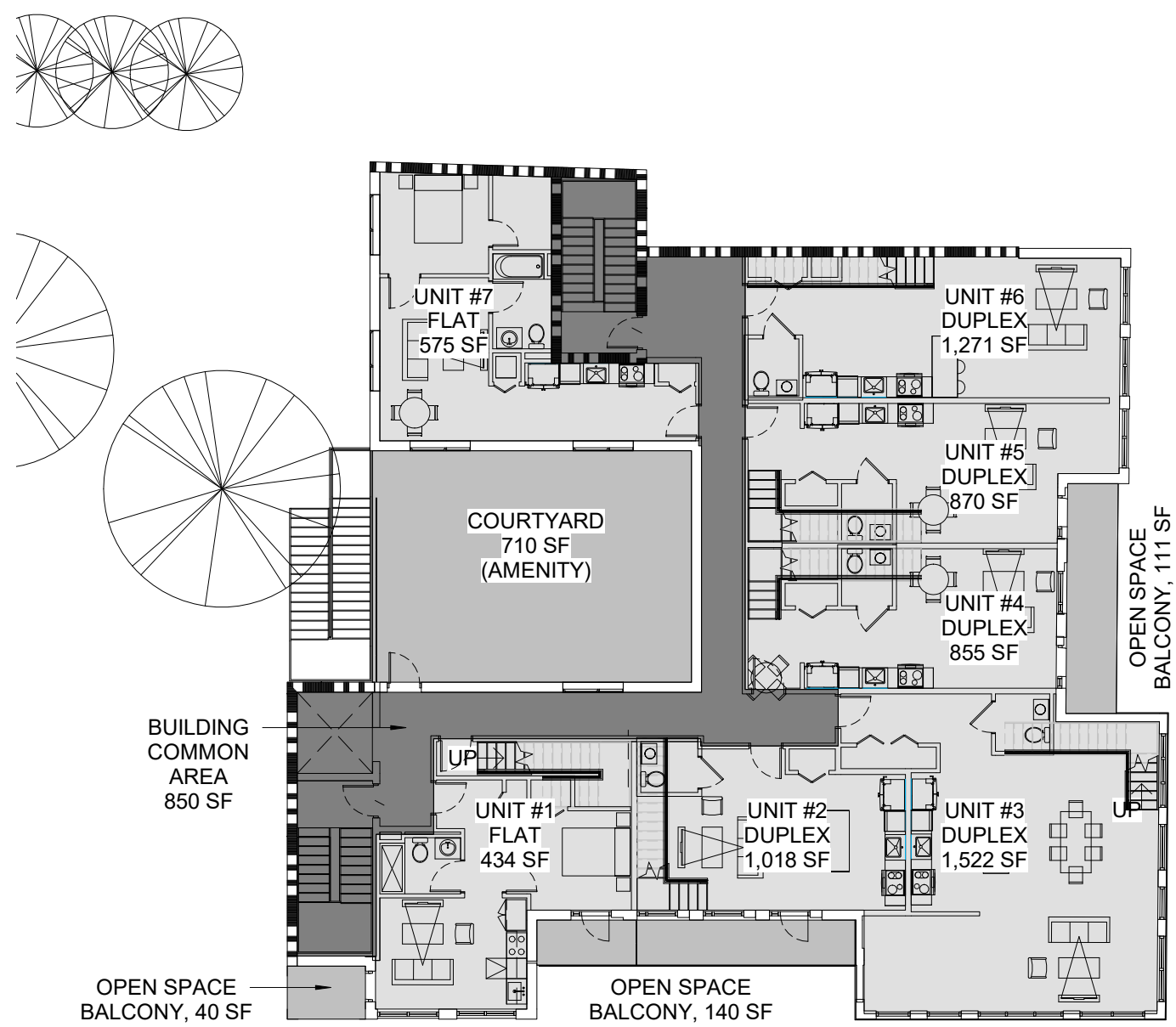
1 PROPOSED SITE PLAN

SCALE : 1/16" = 1'-0"



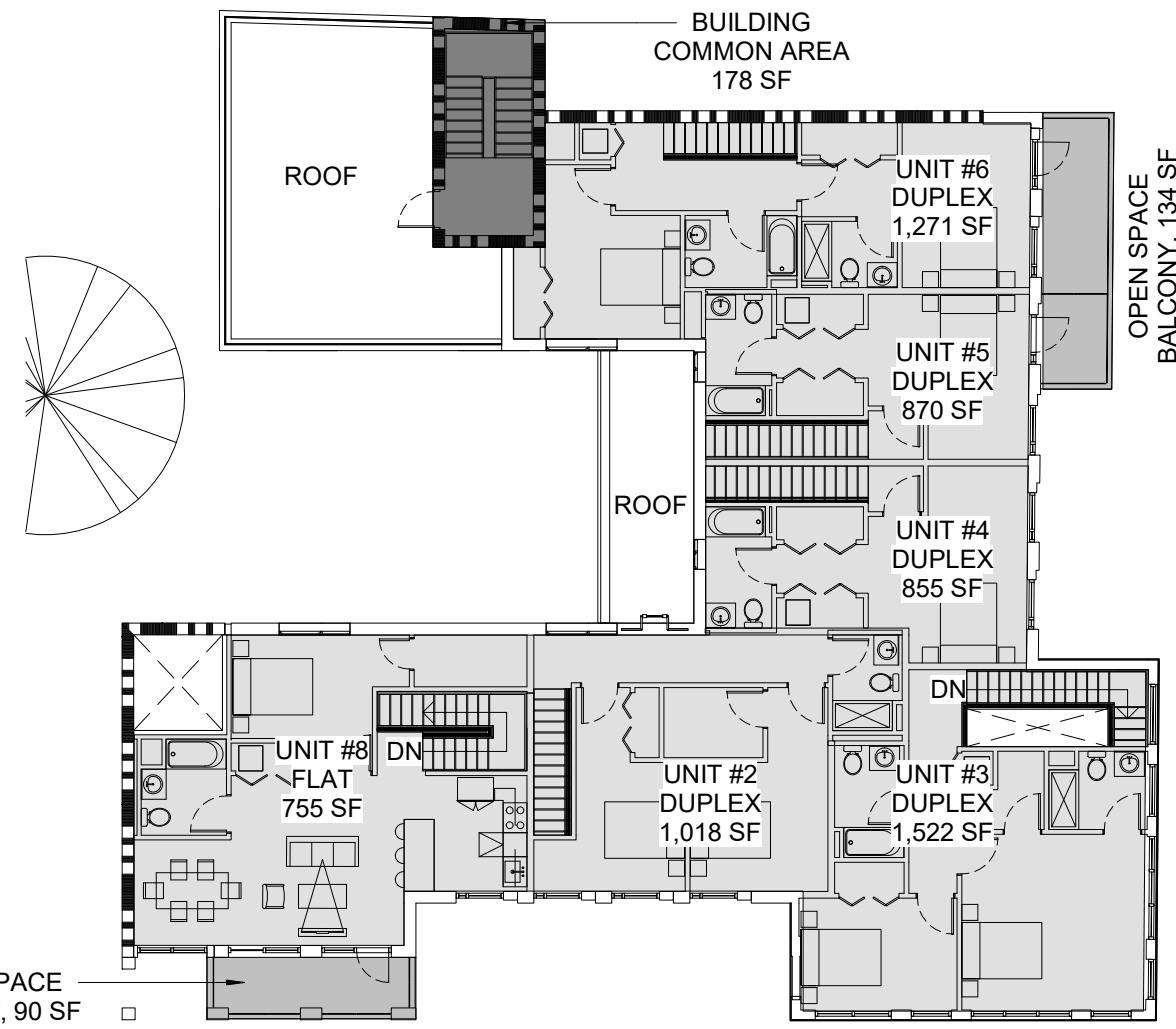
3 AREA CALCULATIONS - FIRST FLOOR

SCALE : 1/16" = 1'-0"



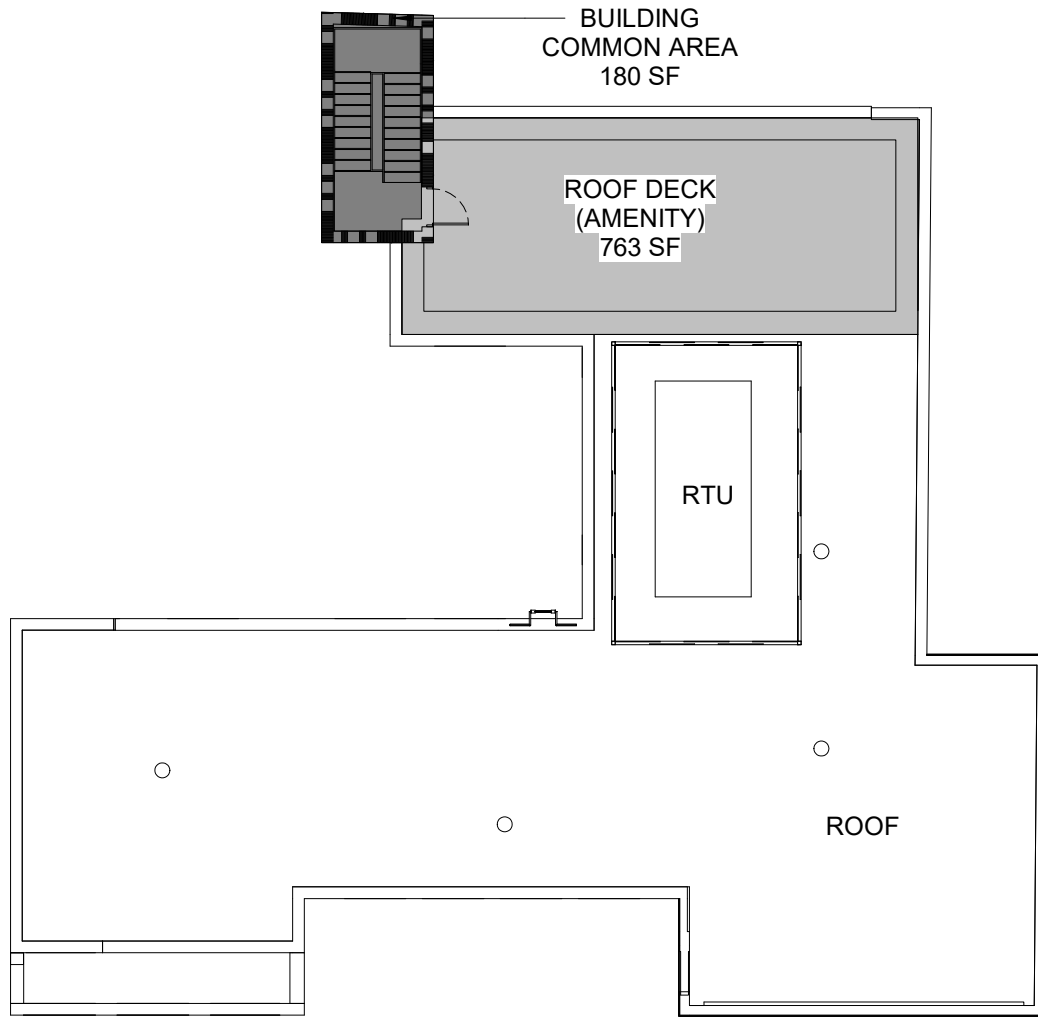
4 AREA CALCULATIONS - SECOND FLOOR

SCALE : 1/16" = 1'-0"



5 AREA CALCULATIONS - THIRD FLOOR

SCALE : 1/16" = 1'-0"

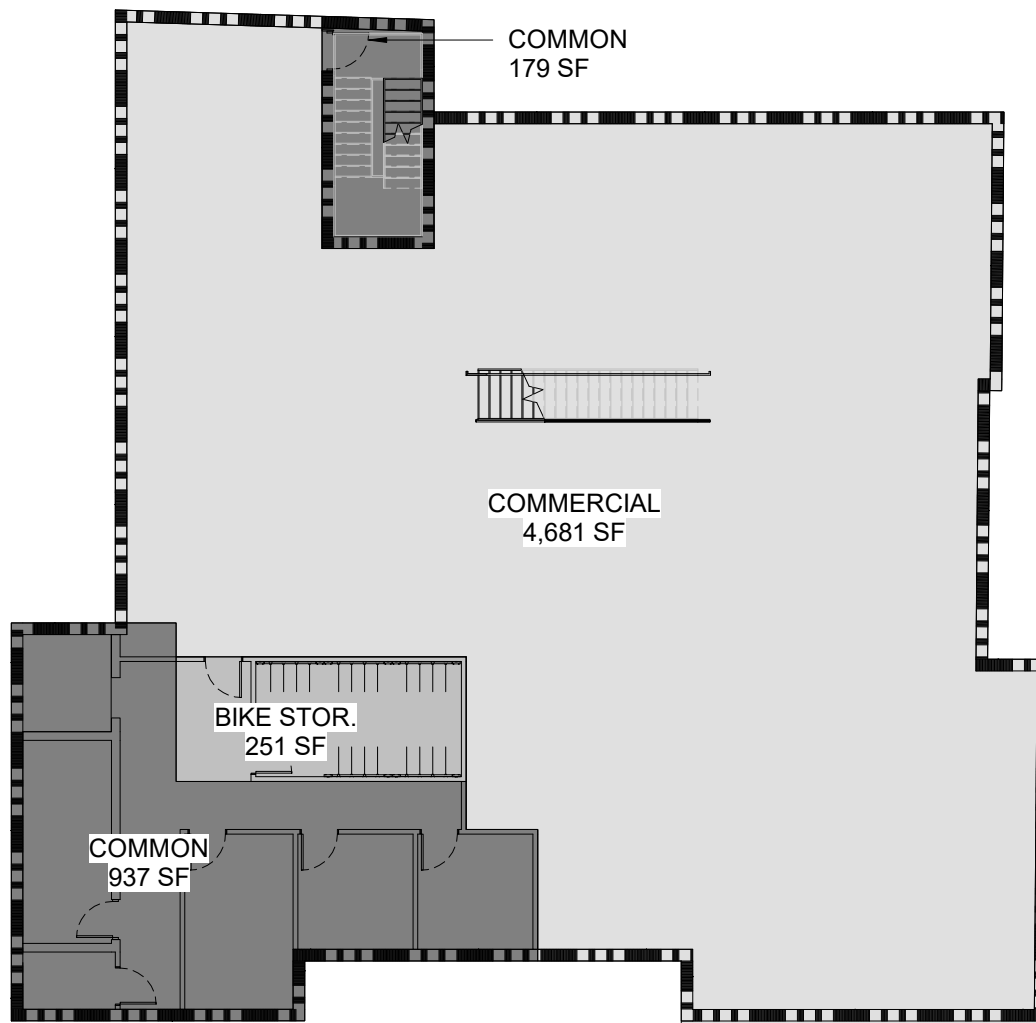


6 AREA CALCULATIONS - ROOF

SCALE : 1/16" = 1'-0"

LEGEND

- COMMON SPACE
- RENTABLE SPACE
- OPEN SAPCE



2 AREA CALCULATIONS - BASEMENT

SCALE : 1/16" = 1'-0"

BUILDING AND SITE DATA

Code Item	Building and Site Data
Fire-Resistant Construction	As per 2018 NJ IBC Chapters 6 & 7, exterior walls, construction and penetrations of exterior walls of dwellings and non-residential uses shall comply with Tables 601, 602, 706.4 & 707.3.10.
Construction Types	3B Unprotected (Basement & Ground Floor), 5B (Upper Floors)
Proposed Building Area	21,244 SF
Proposed Retail Area	10,098 SF (4,681 SF Basement + 5,417 SF Ground Floor)
Open Space Calculations	Automatic fire suppression is proposed.
Second Floor	710 SF Common Courtyard 251 SF Dwelling Unit Balconies
Third Floor	225 SF Dwelling Unit Balconies
Roof	763 SF Common Roof Deck
Minimum Open Space Required	480 SF (60 SF per Dwelling Unit)
Total Proposed Open Space	1,949 SF
Address	54-60 Witherspoon St Palmer Square, Princeton, NJ
Block	20.04
Lots	54.55
Zoning District	CB Central Business
Historic Preservation Overlay District	None
Proposed Lot Size per R.O.W.	10,163.85 SF
Max. Allowable F.A.R.	1.5 (15,245.77 SF)
Proposed F.A.R.	1.49 (15,181 SF)
Max. Allowable Lot Coverage	60% (6,098.31 SF)
Proposed Lot Coverage	59.95% (6,063 SF)
Max. Allowable Height	5 stories not exceeding 65 ft.
Proposed Height	3 stories at 45'-6"
Front/Rear yard	No front yard, side yard, or rear yard required
	12' side yard provided adjacent to Lot 53
Parking calculation per Residential	5 units of 3 Habitable Rooms or Less 5 * 0.75 sp per unit = 3.75 spaces 3 units of more than 3 Habitable Rooms 3 * 1.5 sp per unit = 4.5 spaces Total for Residential 8.25 spaces (i.e. 9 parking spaces)
Parking calculation per Non-residential uses	5,467 SF of Service (1 space/300 SF) 19 parking spaces Adding 2,193 SF of exterior (ground level courtyard) 26 parking spaces
Total Parking Required	maximum 35 parking spaces
Fire Resistance Rating of Structural Elements	(2018 NJ IBC Tables 601 & 602)
Primary Structural Frame	0 Hrs
Ext. Load Bearing Walls	2 Hrs
Int. Load Bearing Walls	0 Hrs
Floor and Associated Assemblies	0 Hrs
Roof and Associated Assemblies	0 Hrs
Means of Egress	As per 2018 NJ IBC Chapter 10 all dwellings shall be provided with a means of egress as provided in this section. The means of egress shall provide a continuous and unobstructed path of vertical and horizontal egress travel from all portions of the dwelling to the exterior of the dwelling at the required egress door without requiring travel through a garage.

ARCHITECT

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12-21-2020 MUNICIPAL COMMENTS

12-09-2020 MUNICIPAL COMMENTS

11-09-2020 MUNICIPAL REVIEW

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JOSHUA B. ZINDER
NJ 15316

PROJECT NAME

GRIGG'S CORNER

54-60 WITHERSPOON STREET
PRINCETON, NJ 08542

DRAWING NAME

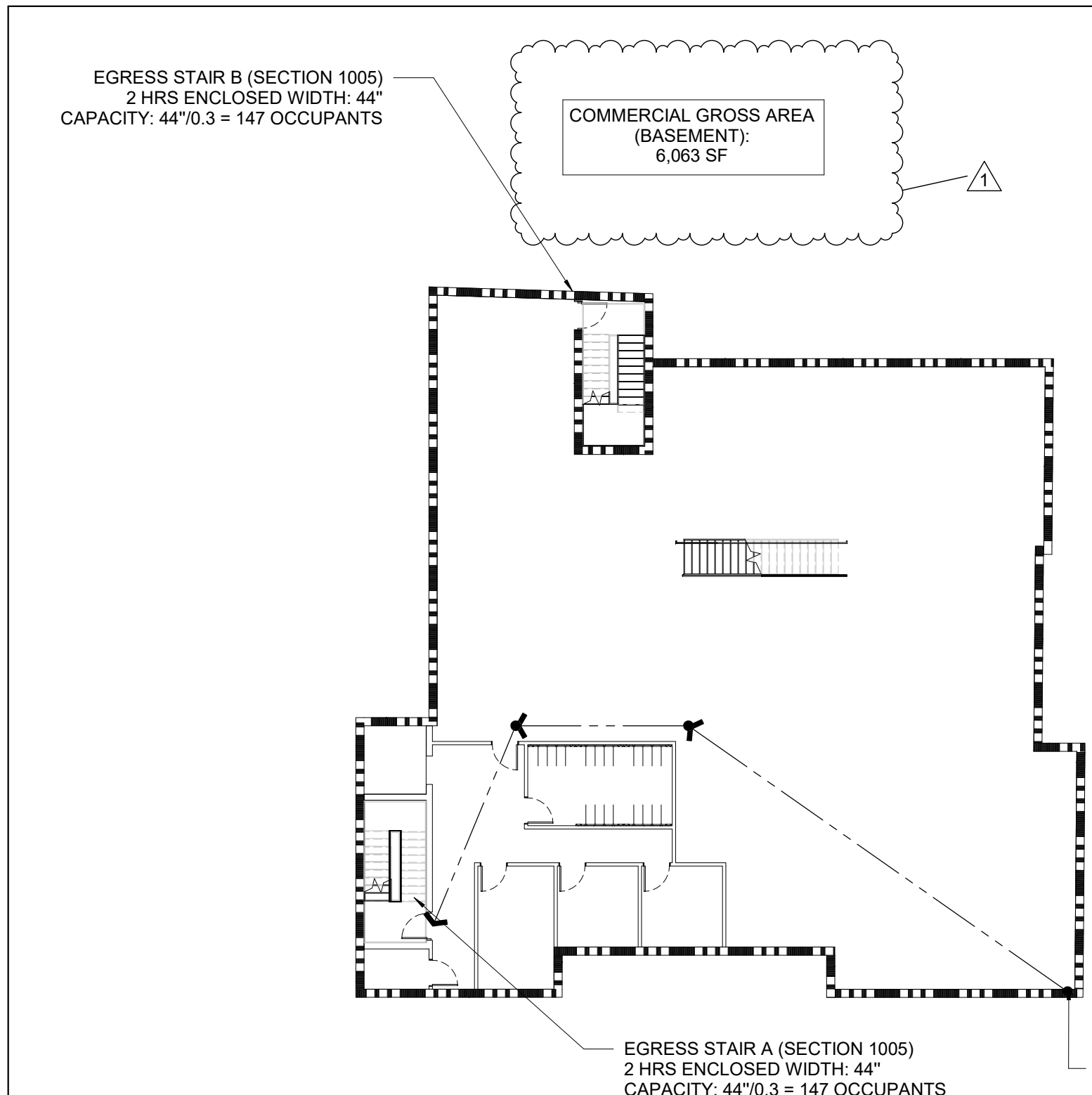
**SITE PLANS AND
AREA
CALCULATIONS**

DRAWN BY: JL, MP PROJECT NO.: 21929

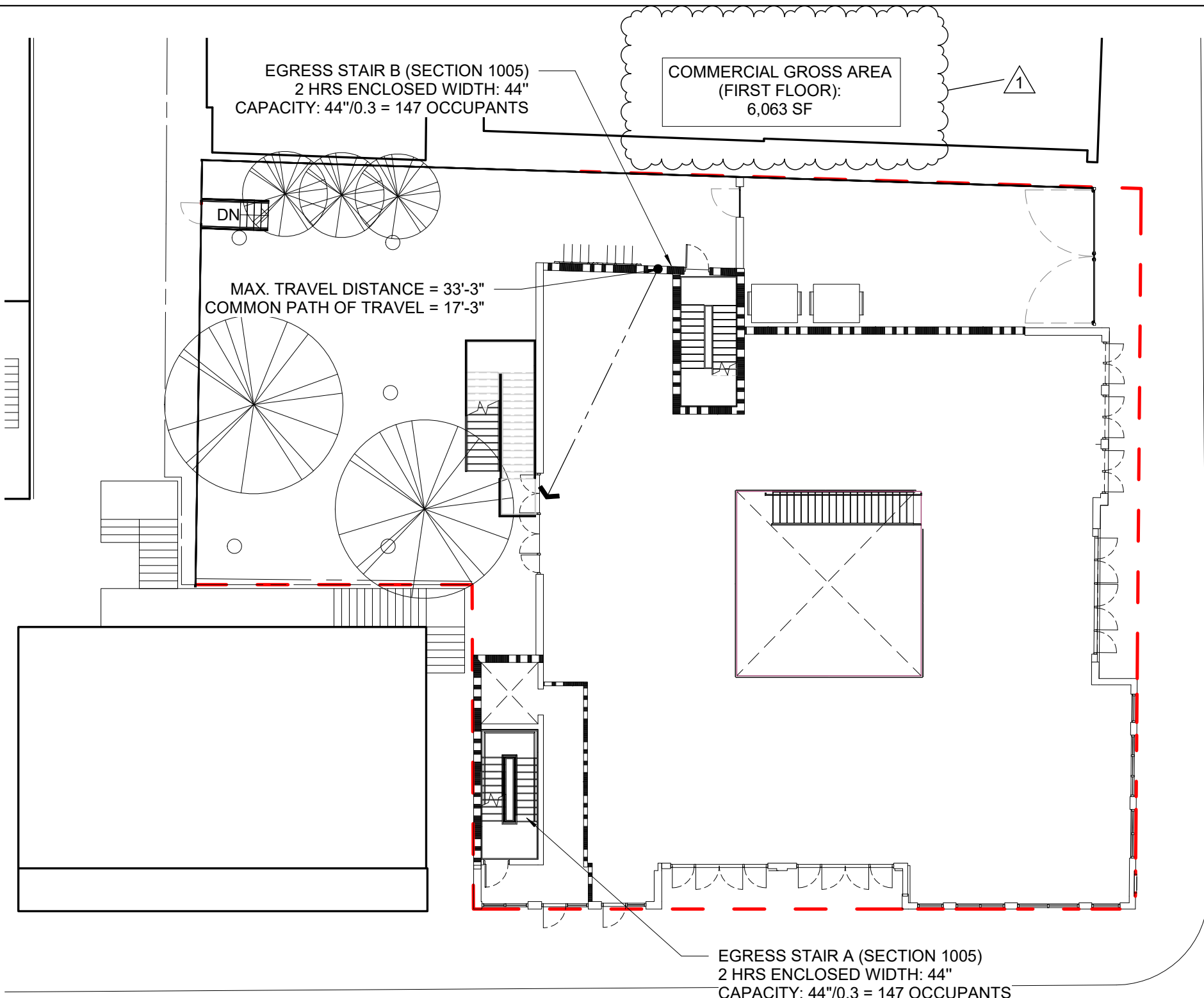
DATE: 12-23-2019 SCALE: As indicated

SHEET NUMBER

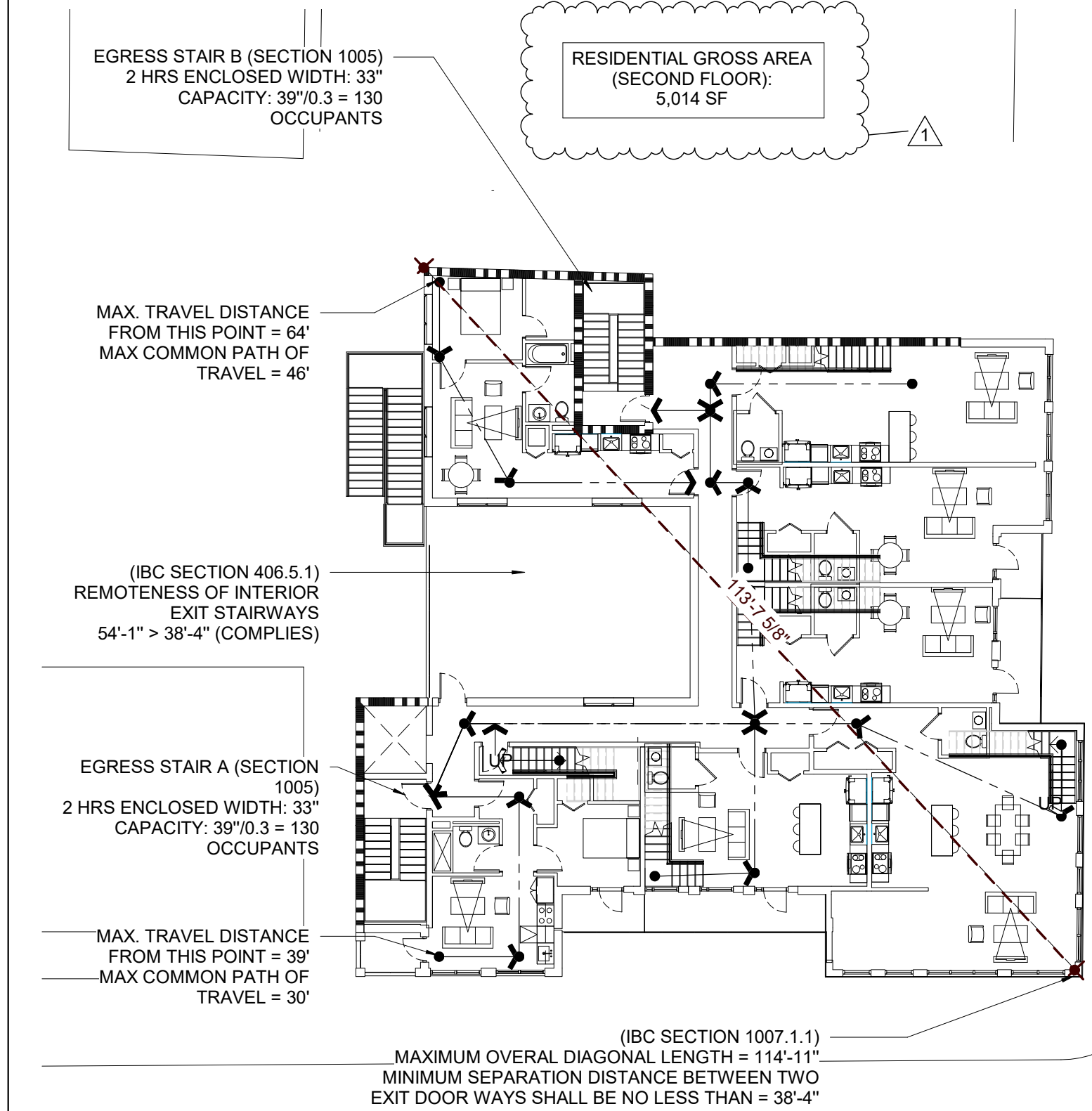
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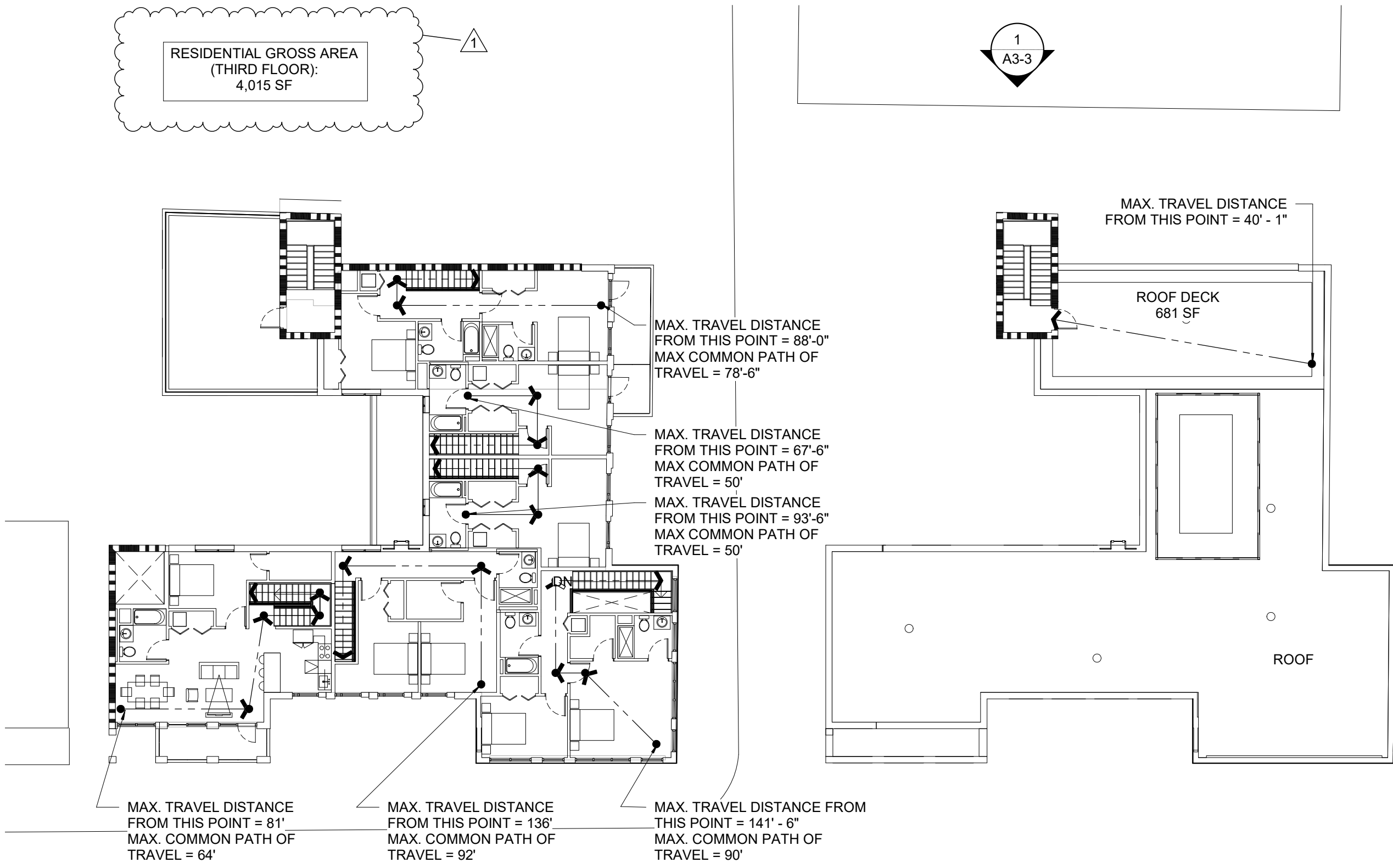
1 EGRESS PLAN @ BASEMENT
SCALE : 1/16" = 1'-0"



2 EGRESS PLAN @ GROUND LEVEL
SCALE : 1/16" = 1'-0"

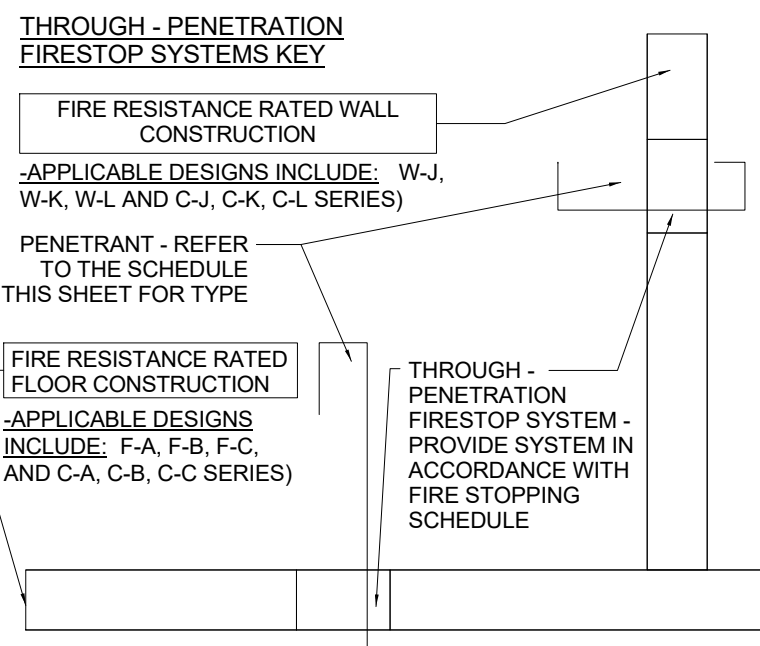


3 EGRESS PLAN @ 2ND FLOOR
SCALE : 1/16" = 1'-0"



4 EGRESS PLAN @ 3RD FLOOR
SCALE : 1/16" = 1'-0"

6 EGRESS PLAN @ ROOF
SCALE : 1/16" = 1'-0"



0 Firestop Diagram

APPLICABLE CODES		
BUILDING SUBCODE	INTERNATIONAL BUILDING CODE 2018 (NJ EDITION)	NJAC 5:23-3.14
	NJ REHABILITATION SUBCODE NJAC 5:23-6	NJAC 5:32-6.1-5:23-6.32
	INTERNATIONAL FIRE CODE 2018	
PLUMBING SUBCODE	NATIONAL STANDARD PLUMBING CODE 2018	NJAC 5:23-3.15
ELECTRICAL SUBCODE	NATIONAL ELECTRICAL CODE (NFPA 70) / 2017	NJAC 5:23-3.16
ENERGY SUBCODE	ASHRAE 90.1 - 2016	NJAC 5:23-3.18
MECHANICAL SUBCODE	INTERNATIONAL MECHANICAL CODE 2018	NJAC 5:23-3.20
BARRIER FREE SUBCODE	NJ IBC CHAPTER 11, NJAC 5:23-7, ICC / ANSI A117.1-2009	NJAC 5:23-7
FUEL GAS SUBCODE	INTERNATIONAL FUEL GAS CODE 2018	NJAC 5:23-3.22
ELEVATOR SUBCODE	AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME)	NJAC 5:23-12

CODE SUMMARY FOR R-2 OCCUPANCY	
Item	Project Data
	PLAN REVIEW, PERMITS, AND INSPECTIONS ARE BY THE MUNICIPALITY OF PRINCETON
Construction Type	5B
Use Group Classification	RESIDENTIAL "R-2"
Occupant Area	9,108 SF (UPPER LEVELS)
Occupant Load in Occupant Space	UNIT #1: 434 SF / 200 SF = 2.17 OCC., UNIT #2: 1,018 SF / 200 SF = 5.09 OCC., UNIT #3: 1,522 SF / 200 SF = 7.61 OCC., UNIT #4: 855 SF / 200 SF = 4.28 OCC., UNIT #5: 870 SF / 200 SF = 4.35 OCC., UNIT #6: 1,271 SF / 200 SF = 6.36 OCC., UNIT #7: 588 SF / 200 SF = 2.94 OCC., UNIT #8: 755 SF / 200 SF = 3.78 OCC., OCCUPANCY TOTAL: 9,108 SF / 200 SF = 45.54 OCC.
Max Travel Distance	141'-6" MAX. ACTUAL: 250 FEET ALLOWED (IBC TABLE 1017.2)
Common Path of Travel	92'-0" MAX. ACTUAL: 125 FEET ALLOWED (IBC TABLE 1006.2.1)
Egress Capacity of Doors / Corridors	0.2 INCHES REQUIRED PER OCCUPANT (IBC 1005.3.2)
Egress Capacity of Stairways	0.3 INCHES REQUIRED PER OCCUPANT (IBC 1005.3.1)

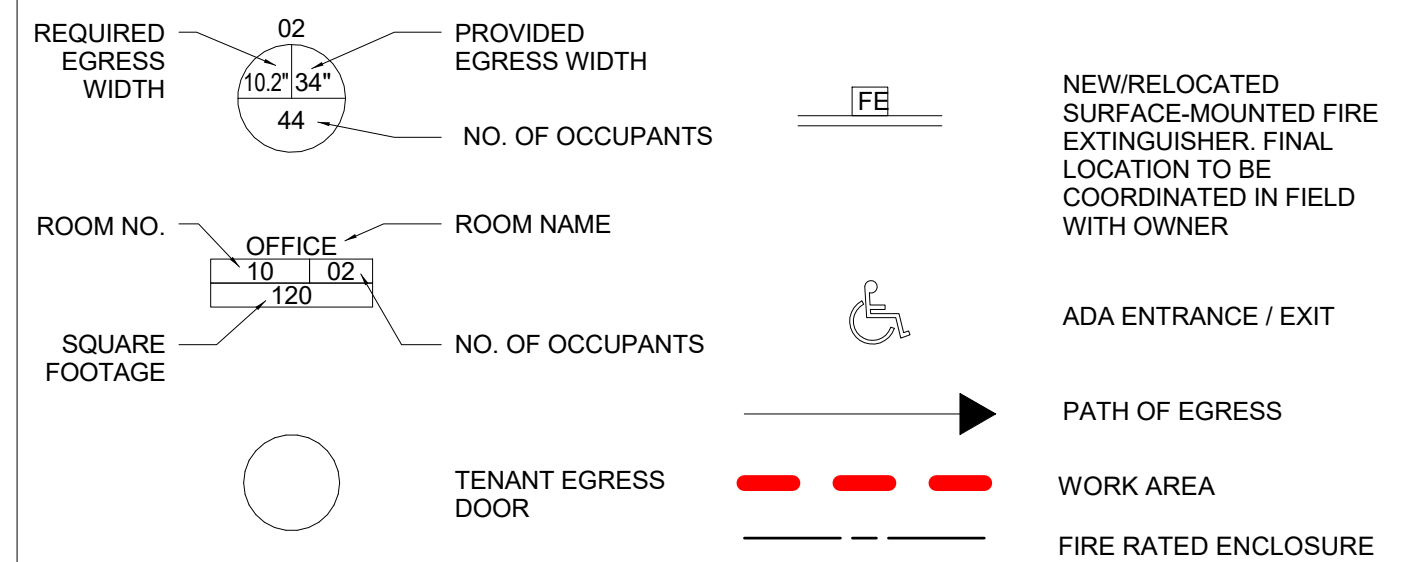
CODE SUMMARY FOR M-OCCUPANCY	
Code Item	Building Info
Construction Type	3B
Use Group Classification	MERCANTILE "M"
Occupant Area	12,126 SF (BASEMENT & GROUND LEVEL)
Occupant Load in Occupant Space	11,953 SF / 60 SF = 182.6 OCC., STORAGE: 599 SF / 300 SF = 2 OCC., OCCUPANCY TOTAL: 184.6 OCC.
Max Travel Distance	101'-2" MAX. ACTUAL: 250 FEET ALLOWED (IBC TABLE 1017.2)
Common Path of Travel	55'-0" MAX. ACTUAL: 75 FEET ALLOWED (IBC TABLE 1006.2.1)
Egress Capacity of Doors / Corridors	0.2 INCHES REQUIRED PER OCCUPANT (IBC 1005.3.2)
Egress Capacity of Stairways	0.3 INCHES REQUIRED PER OCCUPANT (IBC 1005.3.1)

FIRE EXTINGUISHER NOTES:

1. FIRE EXTINGUISHERS SHALL BE LOCATED IN FIRE RATED SEMI RECESSED FIRE EXTINGUISHER CABINETS SUPPLIED BY G.C. - BASIS OF DESIGN IS LARSEN'S MANUFACTURING ARCHITECTURAL SERIES FS 2409-43 W/ STAINLESS STEEL TRIM & GLASS FRONTS.

2. MULTI-PURPOSE DRY CHEMICAL TYPE U.L. RATED 2A:10-B:C 5# FOR TYPE A,B,C FIRES. PROVIDE A MINIMUM 2-A RATING FOR EACH 6,000 SF AREA AND A TRAVEL DISTANCE OF NOT MORE THAN 75' IN EACH DIRECTION. G.C. TO SUPPLY AND INSTALL AT ALL LOCATIONS INDICATED. FIRE CABINET ENCLOSURES TO BE S.S., SEMI-RECESSED W/ GLASS FRONTS.

EGRESS PLAN SYMBOL LEGEND



SCHEDULE OF THROUGH-PENETRATION FIRESTOP SYSTEMS

FIRESTOP SYSTEMS ARE LISTED USING THE ALPHA-ALPHA-NUMERICAL IDENTIFICATION SYSTEM PUBLISHED IN UL FIRE RESISTANCE DIRECTORY, VOLUME II, CURRENT EDITION.					
TYPE OF PENETRANT	ACCEPTABLE SYSTEMS FOR FLOOR PENETRATIONS (FIRST ALPHA COMPONENT = C or F)			ACCEPTABLE SYSTEMS FOR WALL PENETRATIONS (FIRST ALPHA COMPONENT = C or W)	
	CONCRETE FLOORS WITH A MINIMUM THICKNESS LESS THAN OR EQUAL TO 5 INCHES	CONCRETE FLOORS WITH A MINIMUM THICKNESS GREATER THAN 5 INCHES	FRAMED FLOORS (VARIOUS THICKNESSES)	CONCRETE OR MASONRY WALLS WITH A MINIMUM THICKNESS LESS THAN OR EQUAL TO 8 INCHES	CONCRETE OR MASONRY WALLS WITH A MINIMUM THICKNESS GREATER THAN 8 INCHES
NO. PENETRATING ITEMS	F-A-0000 - 0999 or C-A*-0000 - 0999	F-B-0000 - 0999 or C-B*-0000 - 0999		W-J-0000 - 0999 or C-J*-0000 - 0999	W-L-0000 - 0999 or C-L*-0000 - 0999
METALLIC PIPE, CONDUIT OR TUBING	F-A-1000 - 1999 or C-A*-1000 - 1999	F-B-1000 - 1999 or C-B*-1000 - 1999	F-C-1000 - 1999 or C-C*-1000 - 1999	W-K-1000 - 1999 or C-K*-1000 - 1999	W-L-1000 - 1999 or C-L*-1000 - 1999
NONMETALLIC PIPE, CONDUIT OR TUBING	F-A-2000 - 2999 or C-A*-2000 - 2999	F-B-2000 - 2999 or C-B*-2000 - 2999	F-C-2000 - 2999 or C-C*-2000 - 2999	W-L-2000 - 2999 or C-L*-2000 - 2999	W-L-2000 - 2999 or C-L*-2000 - 2999
ELECTRICAL CABLES	F-A-3000 - 3999 or C-A*-3000 - 3999	F-B-3000 - 3999 or C-B*-3000 - 3999	F-C-3000 - 3999 or C-C*-3000 - 3999	W-J-3000 - 3999 or C-J*-3000 - 3999	W-L-3000 - 3999 or C-L*-3000 - 3999
CABLE TRAYS WITH ELECTRICAL CABLES	F-A-4000 - 4999 or C-A*-4000 - 4999	F-B-4000 - 4999 or C-B*-4000 - 4999	F-C-4000 - 4999 or C-C*-4000 - 4999	W-J-4000 - 4999 or C-J*-4000 - 4999	W-L-4000 - 4999 or C-L*-4000 - 4999
INSULATED PIPES	F-A-5000 - 5999 or C-A*-5000 - 5999	F-B-5000 - 5999 or C-B*-5000 - 5999	F-C-5000 - 5999 or C-C*-5000 - 5999	W-J-5000 - 5999 or C-J*-5000 - 5999	W-L-5000 - 5999 or C-L*-5000 - 5999
MISCELLANEOUS PENETRANTS	F-A-6000 - 6999 or C-A*-6000 - 6999	F-B-6000 - 6999 or C-B*-6000 - 6999	F-C-6000 - 6999 or C-C*-6000 - 6999	W-J-6000 - 6999 or C-J*-6000 - 6999	W-L-6000 - 6999 or C-L*-6000 - 6999
MISCELLANEOUS PENETRANTS	F-A-7000 - 7999 or C-A*-7000 - 7999	F-B-7000 - 7999 or C-B*-7000 - 7999	F-C-7000 - 7999 or C-C*-7000 - 7999	W-J-7000 - 7999 or C-J*-7000 - 7999	W-L-7000 - 7999 or C-L*-7000 - 7999
GROUPINGS OF PENETRATIONS	F-A-8000 - 8999 or C-A*-8000 - 8999	F-B-8000 - 8999 or C-B*-8000 - 8999	F-C-8000 - 8999 or C-C*-8000 - 8999	W-J-8000 - 8999 or C-J*-8000 - 8999	W-L-8000 - 8999 or C-L*-8000 - 8999
NOTE 1: FOR EACH LOCATION WHERE A FIRE BARRIER (FIRE-RESISTANCE RATED FLOOR OR WALL CONSTRUCTION) IS PENETRATED, PROVIDE A UL-LISTED THROUGH-PENETRATION FIRESTOP ASSEMBLY IN ACCORDANCE WITH THIS SCHEDULE AND IN COMPLIANCE WITH ADDITIONAL REQUIREMENTS SPECIFIED IN SECTION 07841 AS APPLICABLE TO EACH PENETRATION CONDITION.			NOTE 2: ACTUAL UL LISTINGS FOR C-SERIES SYSTEMS CONTAIN AN ADDITIONAL ALPHA CHARACTER IDENTIFIED BY AN ASTERISK ON THIS SCHEDULE		NUMBERING SYSTEM: MAIN FIRE BARRIER IDENTIFICATION: C-A*-0001 SECONDARY FIRE BARRIER IDENTIFICATION:

ARCHITECT

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ELECTRICAL

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11-09-2020	MUNICIPAL REVIEW
DATE	ISSUED FOR
	SEAL
DATE:	

STATE OF NEW JERSEY REGISTERED ARCHITECT
JOSHUA B. ZINDER
NJ 15316

PROJECT NAME

GRIGG'S CORNER

54-60 WITHERSPOON STREET
PRINCETON, NJ 08542

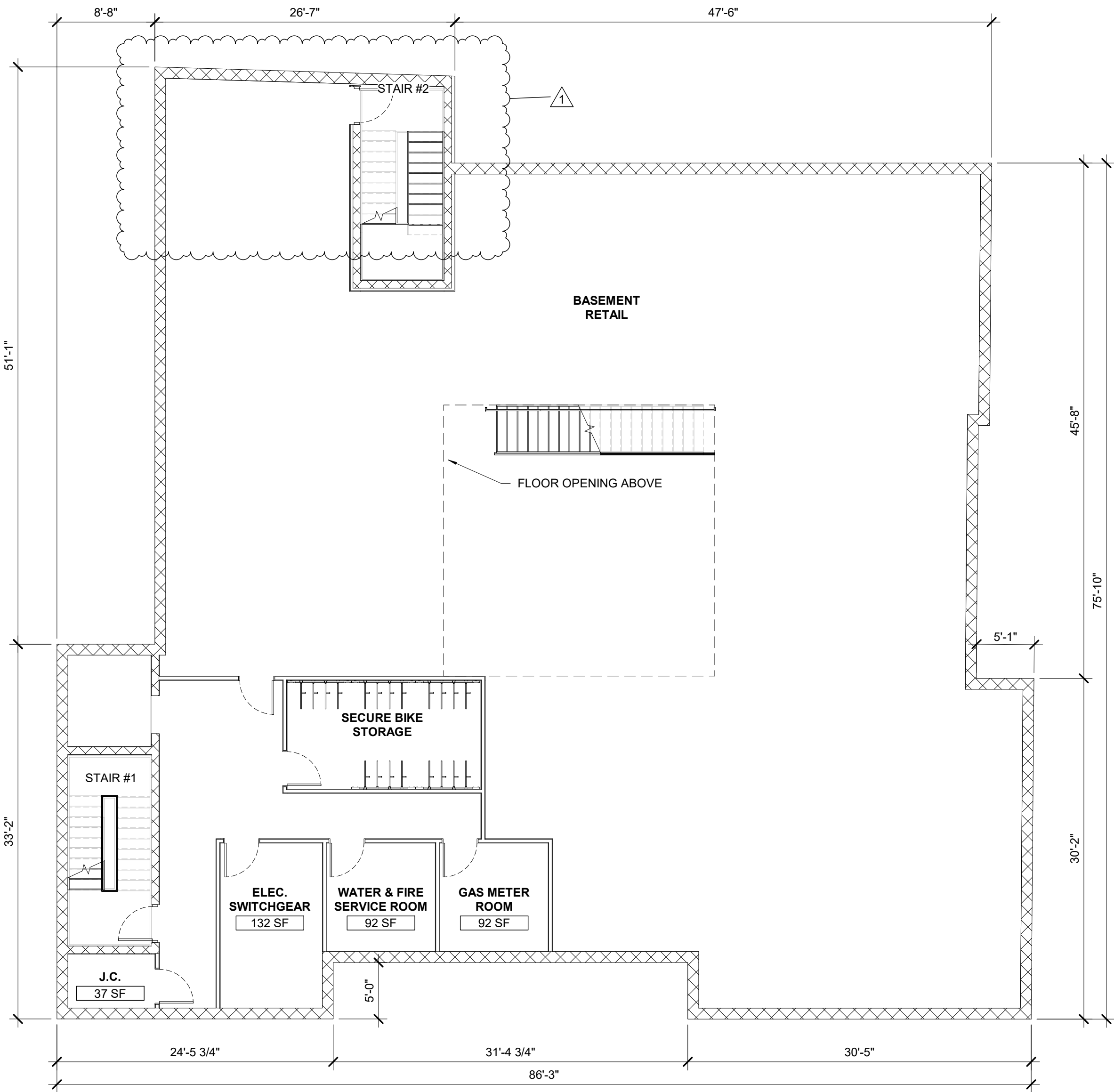
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LIFE SAFETY PLANS & CODE INFO

DRAWN BY:	JL, MP	PROJECT NO.:	21929
DATE:	12-23-2019	SCALE:	As indicated
		SHEET NUMBER	

A0-2

SEE GENERAL FLOOR PLAN NOTES ON SHEET A1-1.



1 BASEMENT
SCALE : 1/8" = 1'-0"

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STATE OF NEW JERSEY REGISTERED ARCHITECT
JOSHUA B. ZINDER
NJ 15316

PROJECT NAME

**GRIGG'S
CORNER**

54-60 WITHERSPOON STREET
PRINCETON, NJ 08542

DRAWING NAME

BASEMENT PLAN

DRAWN BY: JL, MP PROJECT NO.: 21929

DATE: 12-23-2019 SCALE: As indicated

SHEET NUMBER

A1-0

FLOOR PLAN GENERAL NOTES

- DRAWINGS ARE NOT TO BE SCALED, WRITTEN PREVAIL. IF QUESTIONS REGARDING A DIMENSIONAL DISCOVERY ARISE, A CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING WITH THE CONSTRUCTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS PRIOR TO BIDDING AND SHALL BE FAMILIAR WITH ALL ASPECTS OF THE JOB, ALL DIMENSIONS, AND CONDITIONS AT THE JOB SITE PRIOR TO THE START OF ANY WORK.
- ITEMS MARKED "N.I.C." (NOT IN CONTRACT) ARE NOT INCLUDED IN THE GENERAL CONTRACTOR'S CONTRACT AND SHALL BE PROVIDED BY THE OWNER.
- PIPING LOCATED ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED IN FURRED SPACE WITH THE EXCEPTION OF PIPING IN STAIRWAYS, EQUIPMENT ROOMS, AND IF SPECIFICALLY DESIGNATED ON THE DRAWINGS. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISHED AREAS. IF 'FURRED SPACES' ARE NOT SPECIFICALLY DESIGNATED ON THE DRAWINGS, CONTRACTOR TO CONTACT ARCHITECT.
- FOR ALL RATED AND/OR SMOKE PARTITIONS, THE SURFACE AREA OF AN INDIVIDUAL RECESSED METALLIC OUTLET, SWITCH BOX, ETC. SHALL NOT EXCEED 16 SQUARE INCHES. THE AGGREGATE SURFACE AREA OF RECESSED OUTLET BOXES, ETC. SHALL NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET OF WALL AREA OR AS PER APPLICABLE CODE. CONTRACTOR TO VERIFY THIS CODE REQUIREMENT.
- ALL RATED PARTITIONS SHALL BE TIGHTLY SEALED TO THE UNDERSIDE OF THE STRUCTURAL DECK. INTEGRITY OF PARTITIONS SHALL BE MAINTAINED AT CORNERS AND AT INTERSECTIONS OF OTHER PARTITION TYPES.
- PENETRATION IN RATED PARTITIONS FOR CONDUIT, PIPING, OR OTHER COMBUSTIBLE ITEMS SHALL BE FILLED WITH AN APPROVED NON-COMBUSTIBLE MATERIAL TO PROVIDE AN APPROVED SEAL TO PROHIBIT THE PASSAGE OF FIRE AND SMOKE.
- PROVIDE METAL STUD FRAMING AROUND ALL PENETRATIONS THROUGH METAL STUD/GYPSUM BOARD WALLS.
- CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES, CABINET WORK, RECESSED TOILET ACCESSORIES, ETC. WITH ADJACENT MATERIALS EVEN IF THROUGH JOINT MAY NOT BE VISIBLE.
- PROVIDE WOOD BLOCKING AS REQUIRED FOR WALL MOUNTED EQUIPMENT OR ACCESSORIES. NAILERS, BLOCKING, AND OTHER ROUGH CARPENTRY ITEMS IN RATED ASSEMBLIES SHALL BE TREATED FOR FIRE RESISTANCE.
- ALL CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION.
- PROVIDE SMOKE/CO DETECTORS IN COMMERCIAL SPACES, ALL UNITS, AND COMMON SPACES.
- DIMENSIONS ARE TAKEN TO FINISH FACE OF PARTITION, U.O.N. DIMENSIONS AT EXTERIOR WALLS ARE TO FINISH FACE, FACE OF MASONRY OR CONCRETE, EDGE OF WALK OR FACE OF CURB, U.O.N. FOR FURTHER DIMENSIONING, SEE LARGE SCALE PLANS AND SECTIONS, ELEVATIONS, AND DETAILS.

ARCHITECT

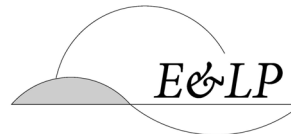
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STATE OF NEW JERSEY REGISTERED ARCHITECT
JOSHUA B. ZINDER
NJ 15316

PROJECT NAME

GRIGG'S
CORNER

54-60 WITHERSPOON STREET
PRINCETON, NJ 08542

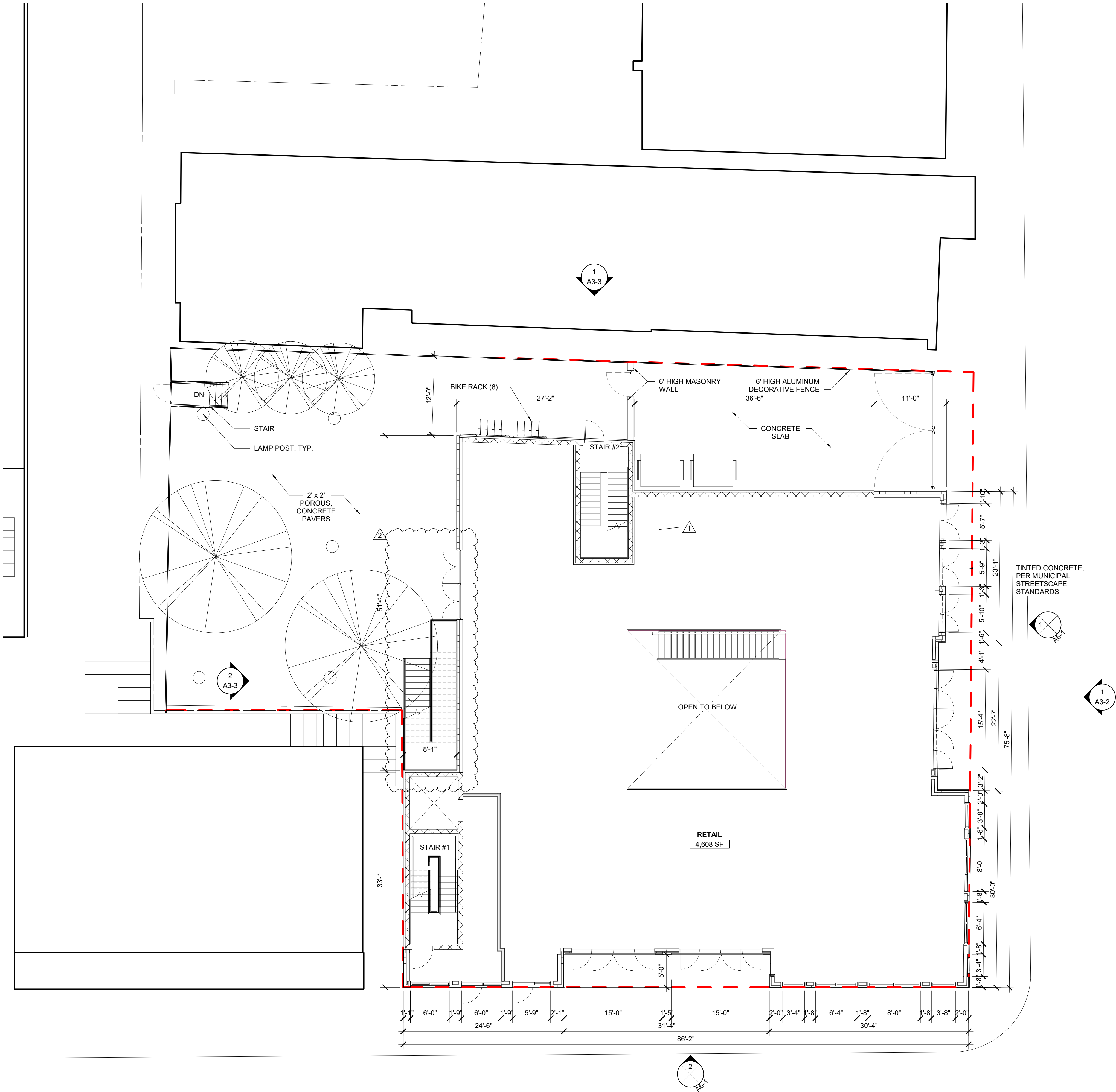
DRAWING NAME

GROUND FLOOR
PLAN

DRAWN BY:	JL, MP	PROJECT NO.:	21929
DATE:	12-23-2019	SCALE:	As indicated

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A1-1



1 GROUND FLOOR
SCALE : 1/8" = 1'-0"

SEE GENERAL FLOOR PLAN NOTES ON SHEET A1-1.

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NJ 15316

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CORNER

54-60 WITHERSPOON STREET
PRINCETON, NJ 08542

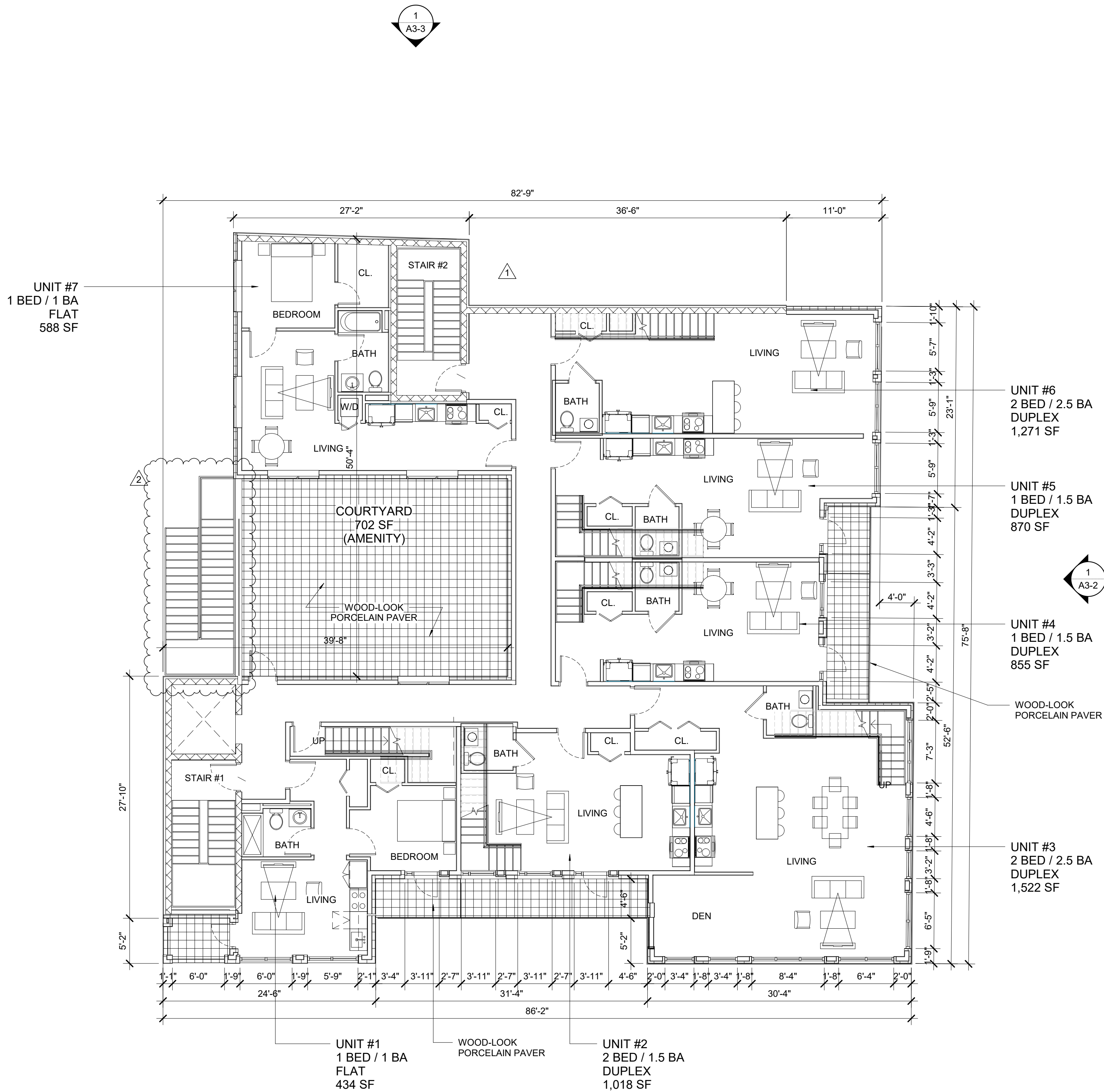
DRAWING NAME

SECOND FLOOR
PLAN

DRAWN BY:	JL, MP	PROJECT NO.:	21929
DATE:	12-23-2019	SCALE:	As indicated

SHEET NUMBER

A1-2



1 SECOND FLOOR
SCALE : 1/8" = 1'-0"

SEE GENERAL FLOOR PLAN NOTES ON SHEET A1-1.

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NJ 15316

PROJECT NAME

GRIGG'S
CORNER

54-60 WITHERSPOON STREET
PRINCETON, NJ 08542

DRAWING NAME

THIRD FLOOR
PLAN

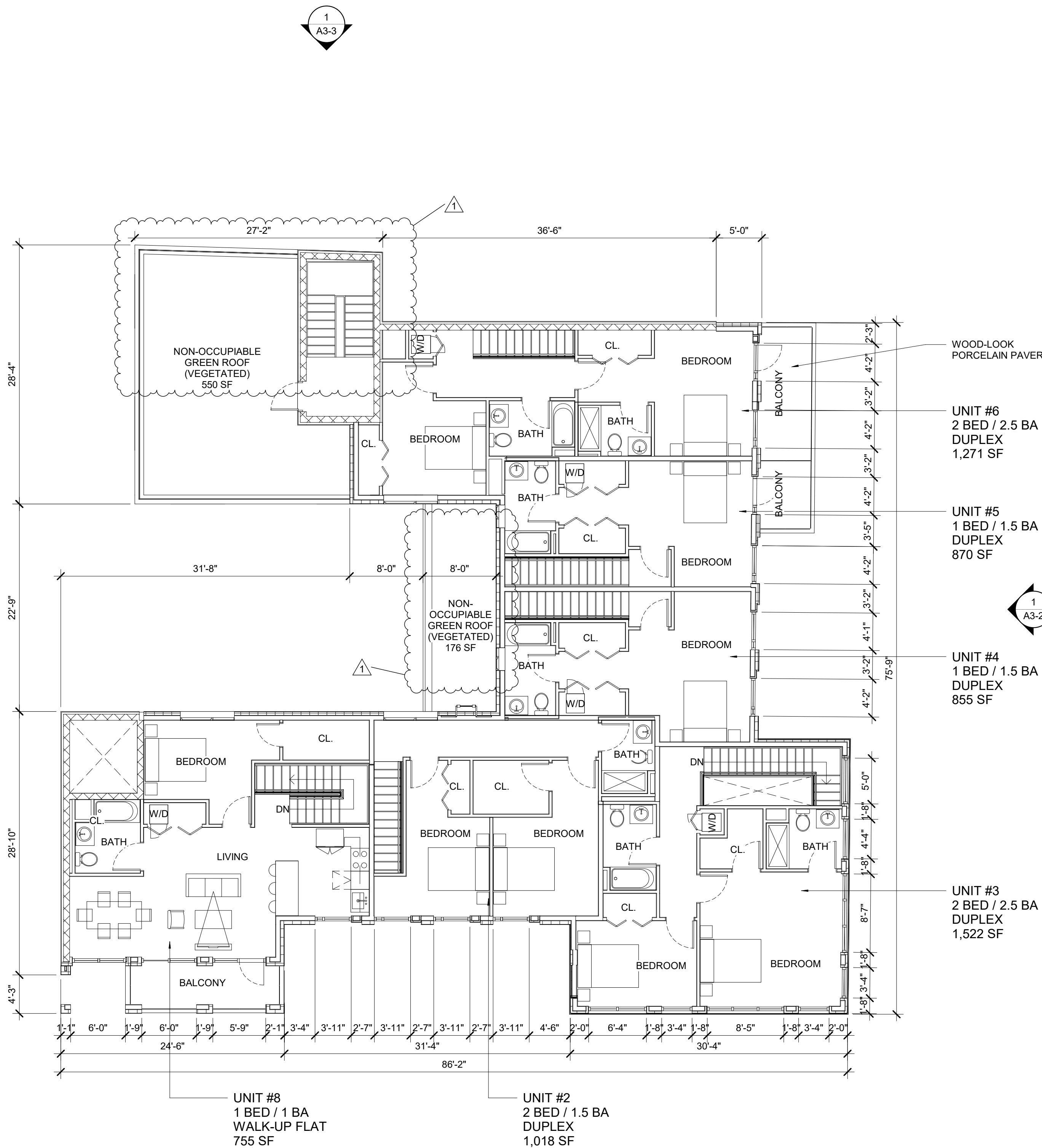
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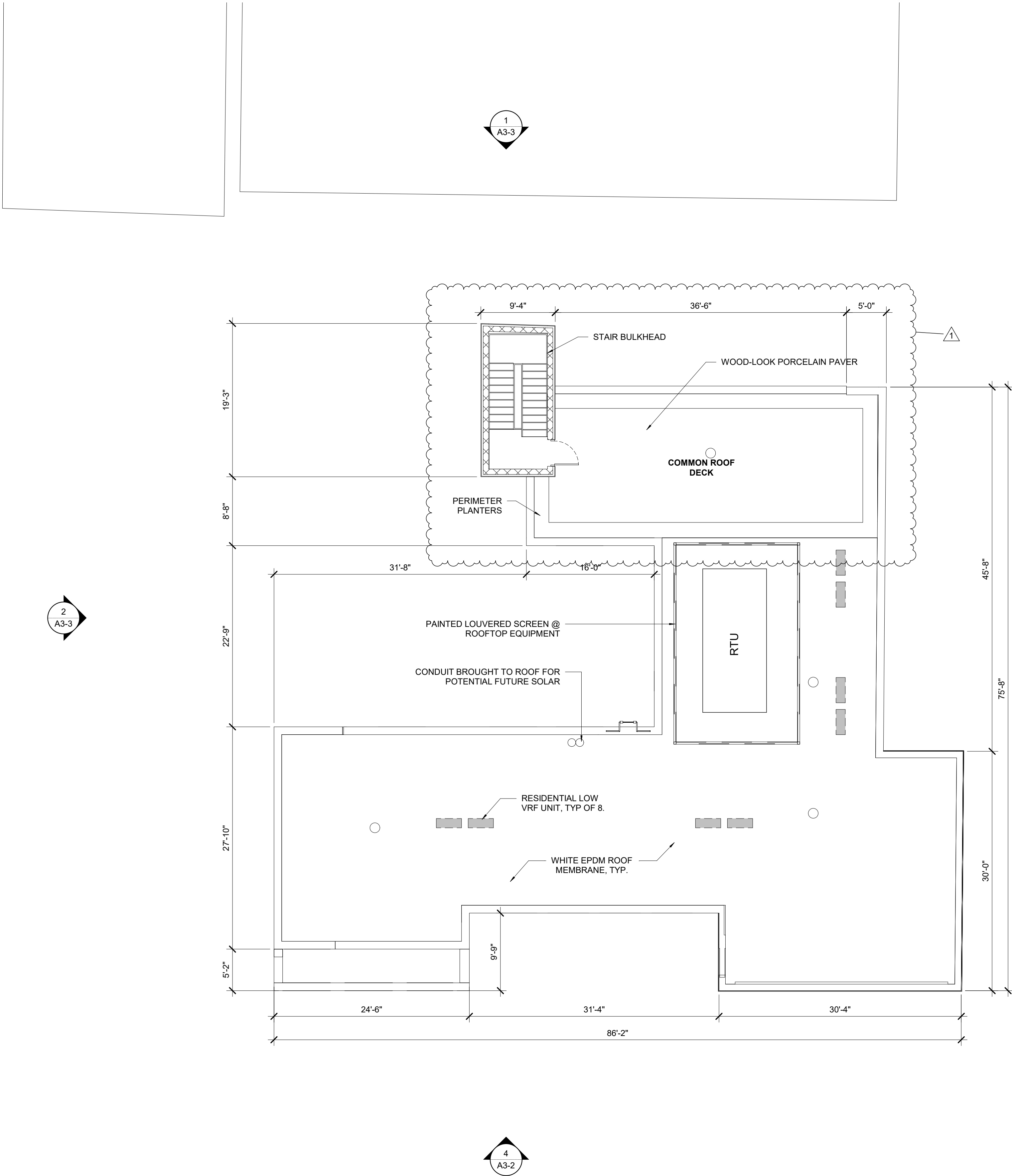
DATE: 12-23-2019 SCALE: As indicated

SHEET NUMBER

A1-3

1 THIRD FLOOR
SCALE : 1/8" = 1'-0"





1 ROOF
SCALE : 1/8" = 1'-0"

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PROJECT NAME	
GRIGG'S CORNER	
54-60 WITHERSPOON STREET PRINCETON, NJ 08542	
DRAWING NAME	
ROOF PLAN	
DRAWN BY:	JL, MP
PROJECT NO.:	21929
DATE:	12-23-2019
SCALE:	As indicated
SHEET NUMBER	
A1-4	

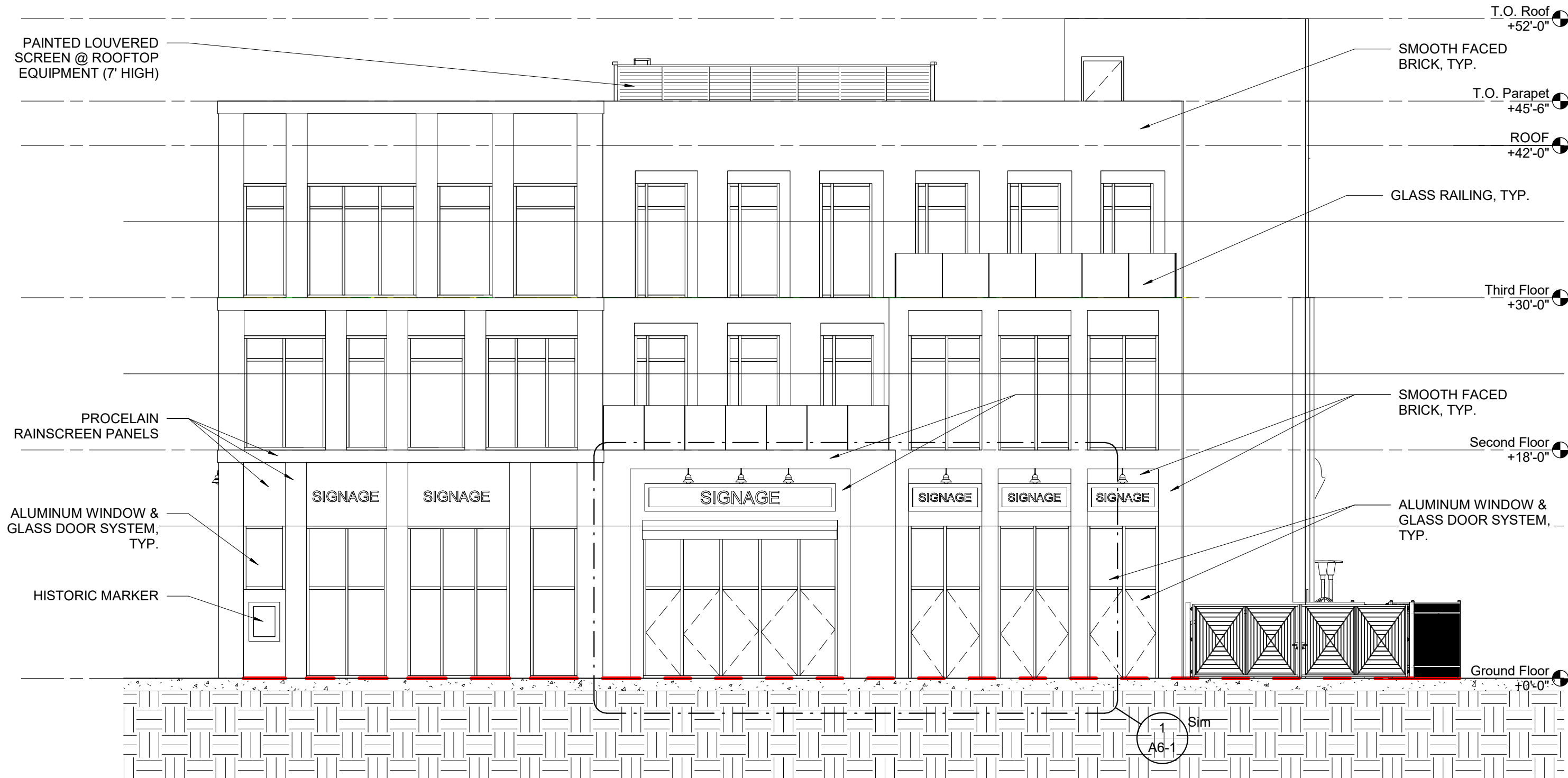
GRIGG'S CORNER

SITE ELEVATIONS

SHEET NUMBER

A3-1





1 EAST ELEVATION
SCALE : 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE : 1/8" = 1'-0"

FINISH NOTES

- BRICK:**
BR-01 = SMOOTH FACED, ROMAN MAXIMUS BRICK, GRADE SW. BASIS OF DESIGN FOR COLOR: SONOMA VALLEY COLONIAL BY SIOUX CITY BRICK
BR-02 = SMOOTH FACED, ROMAN MAXIMUS BRICK, GRADE SW. BASIS OF DESIGN FOR COLOR: SANDFORD ENGINEER BY GLEN-GERY.
- PORCELAIN TILE:**
TL-01 = PORCELAIN TILE RAINSCREEN FACADE, BASIS OF DESIGN: CITY CUBE BY PORCELANOSA.
TL-02 = PORCELAIN TILE RAINSCREEN FACADE & TRIM, BASIS OF DESIGN: CITY ZONE BY PORCELANOSA.
TL-03 = WOOD-LOOK PORCELAIN TILE PAVERS, BASIS OF DESIGN: PORCELAINGRES DE_TILES, IN: WOOD CANELETTO COLLECTION, COLOR TO BE SELECTED.
TL-04 = CONCRETE-LOOK PORCELAIN TILE PAVERS, CEMENT RESIN EFFECT PORCELAIN TILE PAVERS, BASIS OF DESIGN: ARTISTEA, CM2 CON.CREA, CM2 EARTH COLLECTION, COLOR TO BE SELECTED.
- AWNING:**
AW-01 = SUNBRELLA CLARITY, COLOR(S) TO BE SELECTED BY FUTURE TENANT(S).
- GLASS:**
GL-01 = INSULATED LOW-E GLASS, LAMINATED WINDOWS & DOORS.
- CONCRETE:**
CT-01 = TINTED CONCRETE TO MATCH MUNICIPAL STREETSCAPE STANDARDS.
- STUCCO:**
SC-01 = CALIFORNIA STUCCO CIMENTITIOUS, COLOR TO BE SELECTED.
- METAL:**
MT-01 = ANODIZED ALUMINUM BY ZERO, COLOR TO MATCH ARCHITECT'S SAMPLE.

ARCHITECT

JZA+D
JOSHUA ZINDER ARCHITECTURE + DESIGN

20 NASSAU STREET,
PRINCETON,
(7) 609 924 9004

SUITE 25
NEW JERSEY 08542
(P) 609 924 9005

CIVIL ENGINEER



200 AMERICAN METRO BLVD, SUITE 1A, HAMILTON, NJ 08619
T: 609 454 3433, F: 908 238 9772

MECHANICAL AND PLUMBING

ELECTRICAL

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11-09-2020 MUNICIPAL REVIEW

DATE ISSUED FOR

SEAL

DATE: _____

STATE OF NEW JERSEY REGISTERED ARCHITECT
JOSHUA B. ZINDER
NJ 15316

PROJECT NAME

GRIGG'S CORNER

54-60 WITHERSPOON STREET
PRINCETON, NJ 08542

DRAWING NAME

EXTERIOR ELEVATIONS

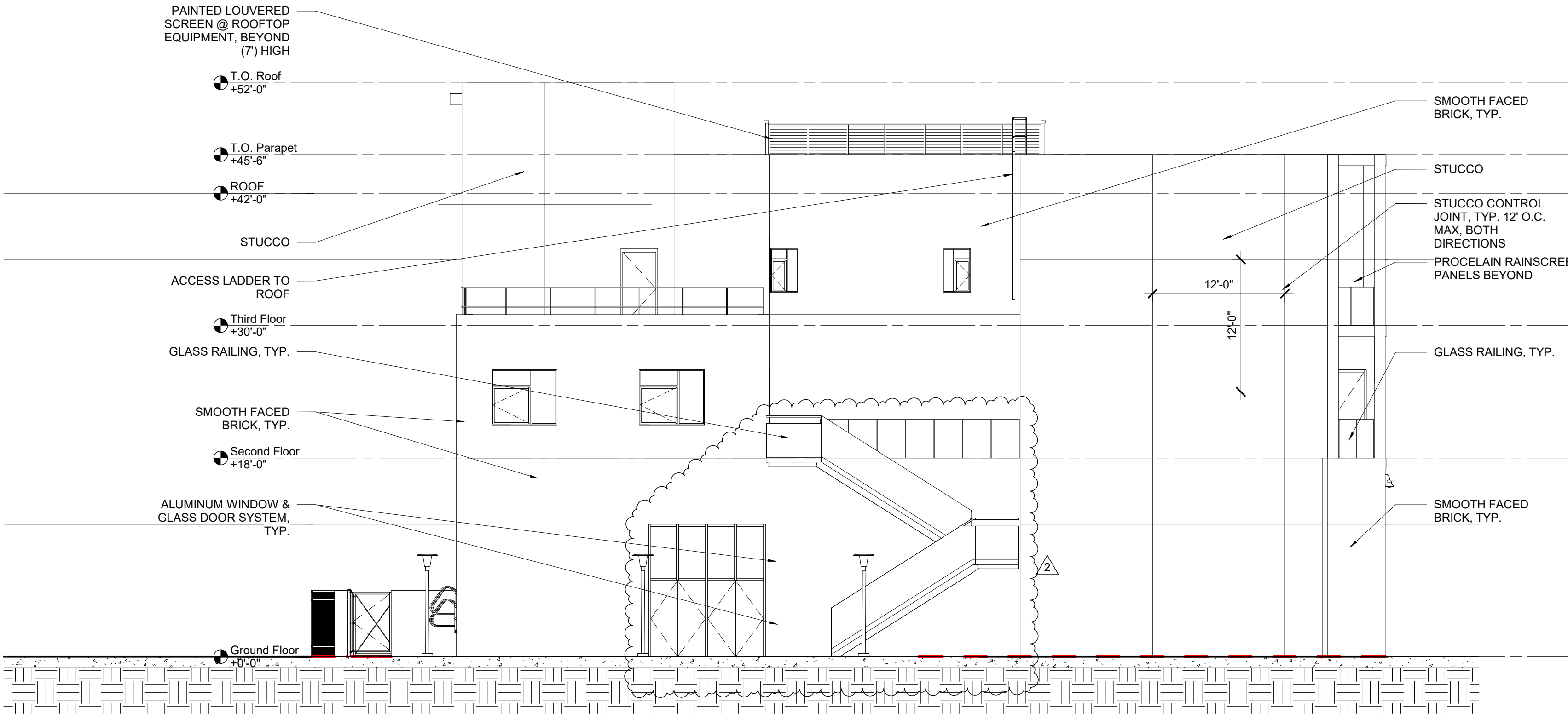
DRAWN BY: JL, MP PROJECT NO.: 21929

DATE: 12-23-2019 SCALE: As indicated

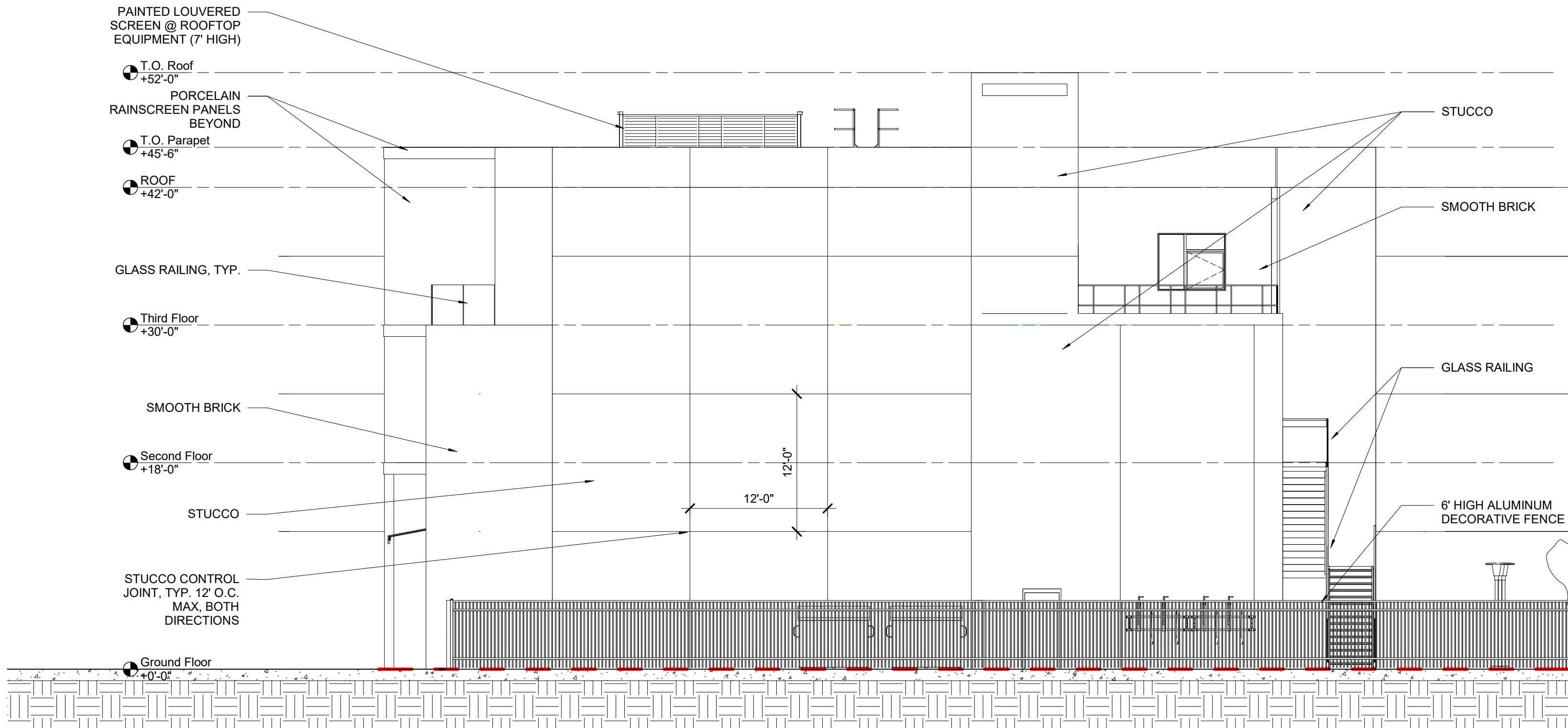
SHEET NUMBER

A3-2

SEE FINISH NOTES ON SHEET A3-2.



2 WEST ELEVATION
SCALE : 1/8" = 1'-0"



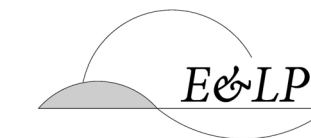
1 NORTH ELEVATION
SCALE : 1/8" = 1'-0"

ARCHITECT

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12-21-2020 MUNICIPAL COMMENTS

11-09-2020 MUNICIPAL REVIEW

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54-60 WITHERSPOON STREET
PRINCETON, NJ 08542

DRAWING NAME

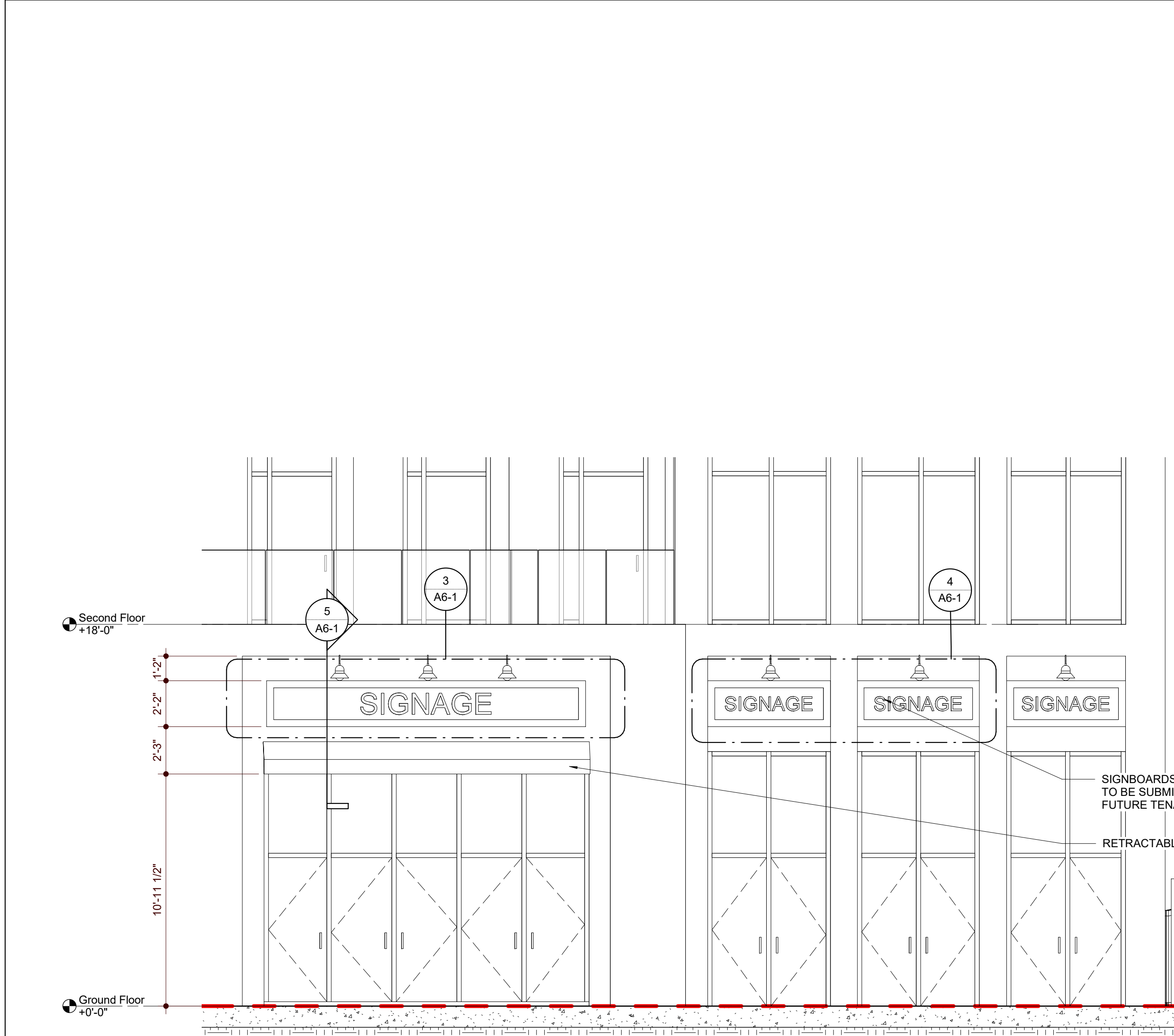
EXTERIOR ELEVATIONS

DRAWN BY: JL, MP PROJECT NO.: 21929

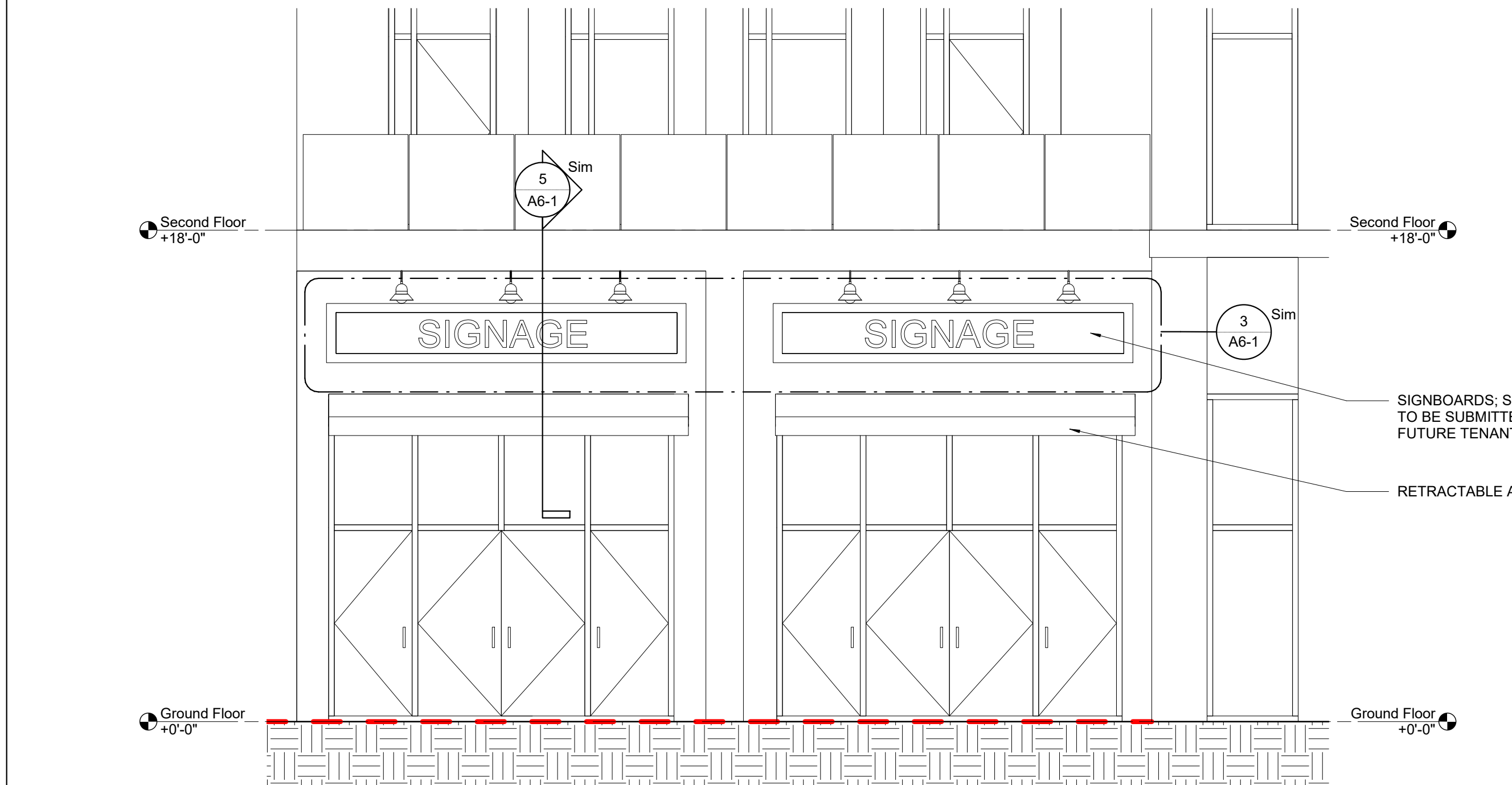
DATE: 12-23-2019 SCALE: As indicated

SHEET NUMBER

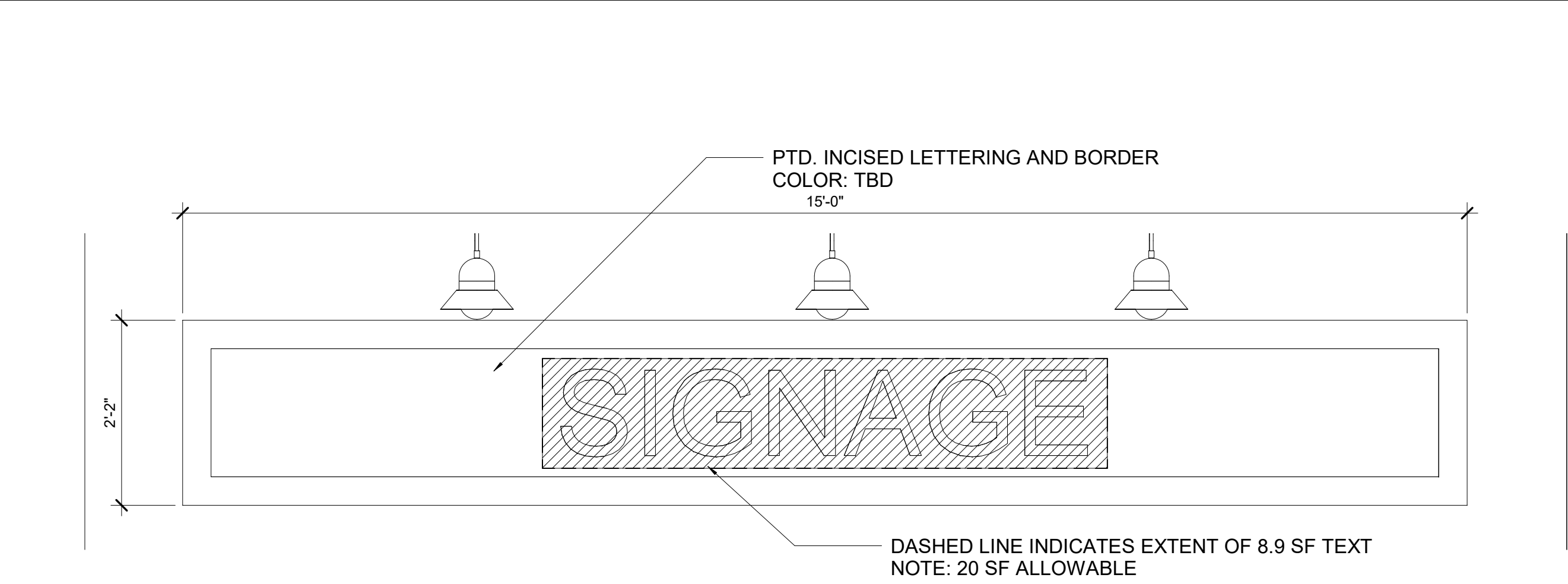
A3-3



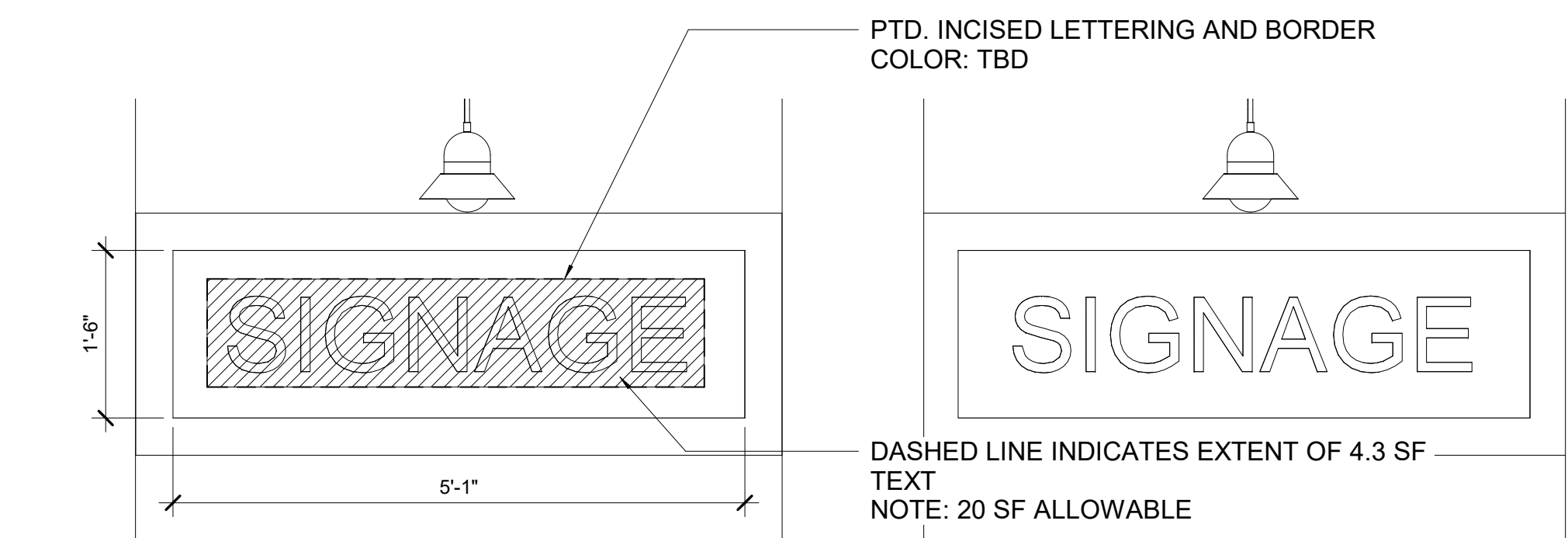
1 SIGNAGE @ WITHERSPOON FACADE
SCALE : 1/4" = 1'-0"



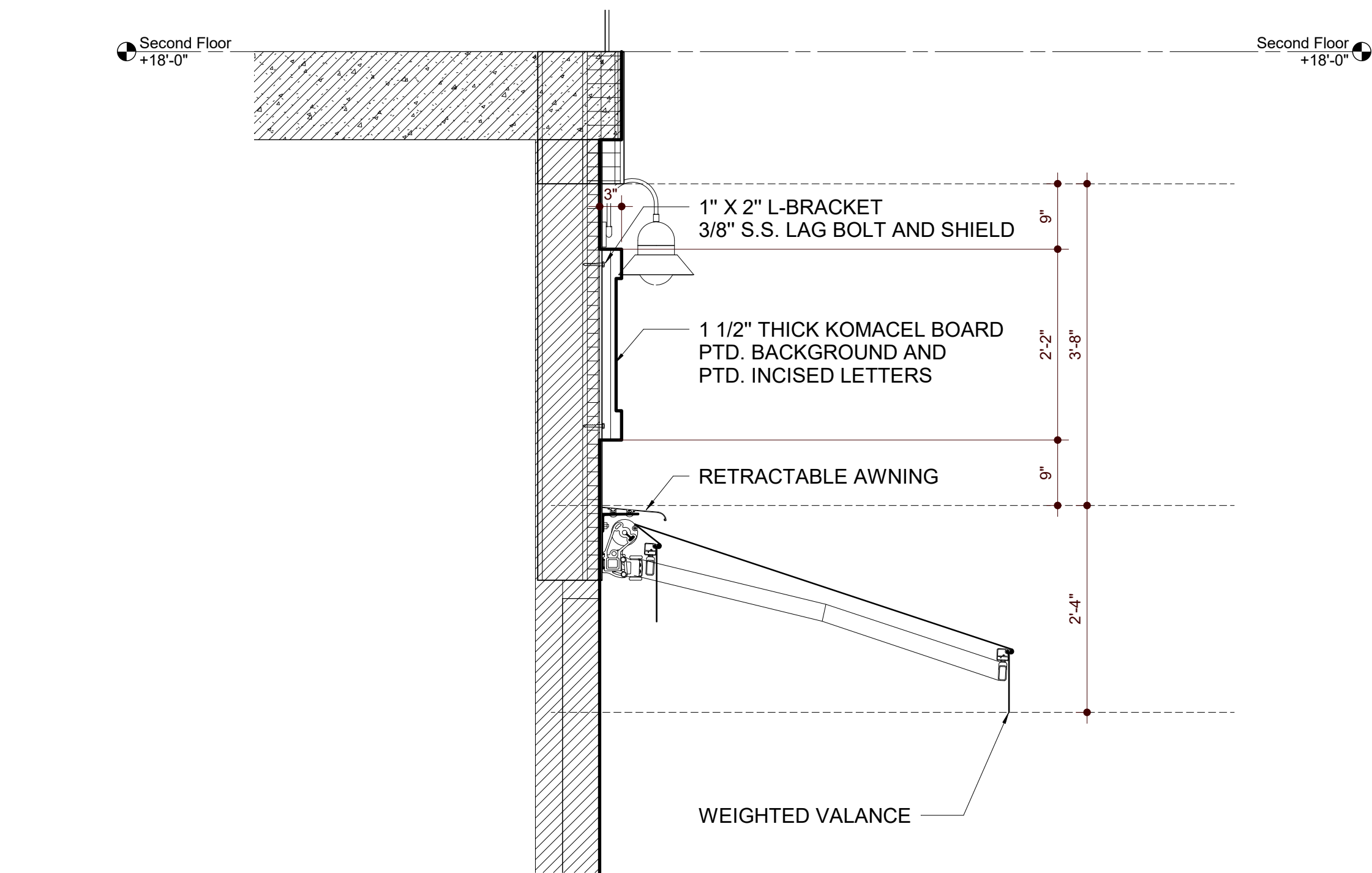
2 SIGNAGE @ HULFISH FACADE
SCALE : 1/4" = 1'-0"



3 WITHERSPOON LARGE SIGNBOARD ELEVATION
SCALE : 3/4" = 1'-0"



4 WITHERSPOON SMALL SIGNBOARD ELEVATION
SCALE : 3/4" = 1'-0"



5 AWNING SECTION
SCALE : 3/4" = 1'-0"

ARCHITECT


JZA+D

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PROJECT NAME

GRIGG'S CORNER

54-60 WITHERSPOON STREET
PRINCETON, NJ 08542

DRAWING NAME

SIGNAGE

DRAWN BY:	JL, MP	PROJECT NO.:	21929
DATE:	12-23-2019	SCALE:	As indicated
SHEET NUMBER			

A6-1

Product family datasheet

OSRAM

LINEARlight POWER Flex Protect

LED modules for professional and industrial applications



- Areas of application
- Facade accent lighting
 - Ceiling integration
 - Wall integration
 - Cove lighting
 - Machine lighting
 - Path lighting
 - Suitable for outdoor use

- Product family benefits
- High luminous flux
 - Great design freedom thanks to flexibility and cuttability of module
 - High-performance silicone for extremely long life and flexibility
 - Simple connection thanks to premounted connectors
 - Extraordinary design and high quality materials
 - Toolless connection with the optional CONNECTSystem
 - Easy mounting on many smooth surfaces thanks to self-adhesive tape at the back



December 16, 2019, 15:38:26
LINEARlight POWER Flex Protect

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Page 1 of 9

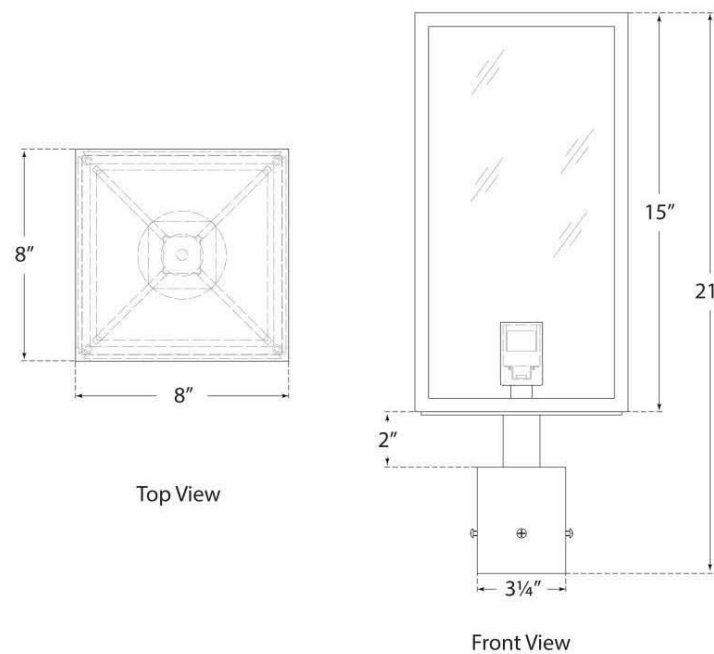
SPEC SHEET



Fresno Post Light
Item # CHO 7933AI-CG

Designer: Chapman & Myers

Height: 21"
Width: 8"
Base: 3" Round Post Cap
Finishes: AI
Glass Options: CG
Socket: E26 Keyless
Wattage: 60 T
Note: UL Only



circa LIGHTING®

LIGHT FIXTURE TYPES:

TYPEX C & D:
FIXTURE TYPES C & D ARE A PART OF THE SAME COLLECTION. TYPE C, TO THE LEFT, WILL BE USED TO PROVIDE GENERAL ILLUMINATION TO THE BACK GRADE LEVEL COURTYARD ON POSTS. TYPE D, TO THE RIGHT, WILL BE USED TO PROVIDE GENERAL ILLUMINATION TO THE RESIDENTIAL ENTRY AT GRADE, TO THE AMENITY SECOND-LEVEL TERRACE, AND TO THE DWELLING UNIT OPEN-AIR BALCONIES AS SCONCES.

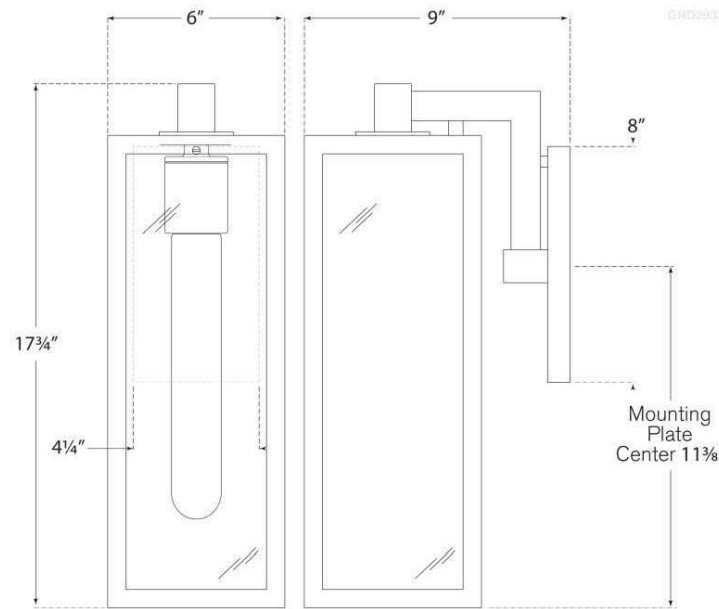
SPEC SHEET



Fresno Framed Medium Sconce
Item # CHD 2933AI-CG

Designer: Chapman & Myers

Height: 17.75"
Width: 6"
Extension: 9"
Backplate: 4.25" X 8" Rectangle
Finishes: AI
Glass Options: CG
Socket: E26 Keyless
Wattage: 60 T
©EFC DESIGNS



circa LIGHTING®

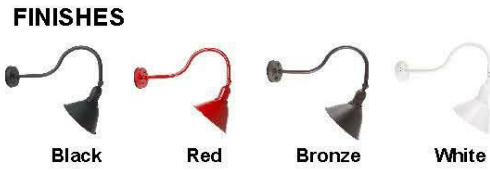


Outdoor Gooseneck Sign Light - AQDLXS-930

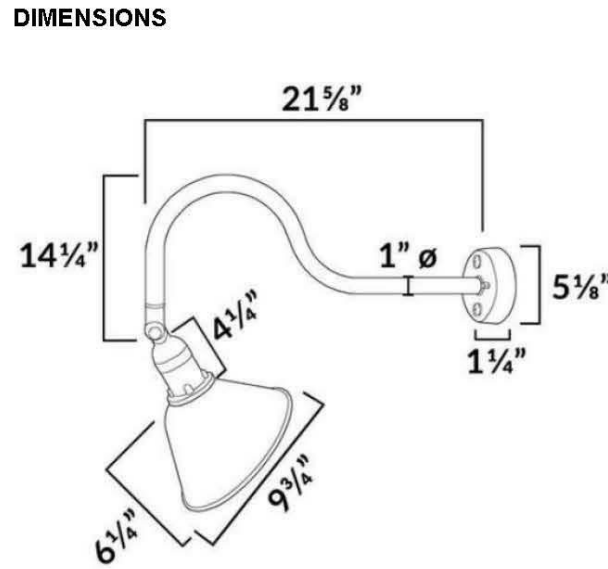
DESCRIPTION
Voltage: 12V / 120V
Socket Type: UL Certified Medium Base (E105933)
12v Bulb Type: A19 / M16 (with adapter)
120v Bulb Type: PAR30 / PAR38
Power Rating: 120W Max
Mounting: Wall / Surface
Weight: 4.68 lbs
Dimensions: H:20" x L:21.5" x D: 9.5"



ACCESSORIES
6" & 12" arm extension, photocell, motion sensor



ORDERING INFORMATION	FINISH	BULB
AQDLXS-930	BLK Black WHT White RBD Red BRZ Bronze	WWND 10W Non-Dimmable Warm White 3000K LED CWND 10W Non-Dimmable Cool White 5000K LED WWP 9W Dimmable Warm White 3000K GL24 Puck Lamp LED WWC 12W Dimmable Warm White 3000K GL24 Con Enclosed LED



LIGHT FIXTURE TYPES:

TYPE B:
THIS FIXTURE TYPE WILL BE USED TO ILLUMINATE THE PROPOSED FLAT SIGNAGE ON WITHERSPOON & HULFISH STREETS.

AQDLXS-930 - _____ - _____

Fixture Type: _____
Job Name: _____
Notes: _____

www.aqlightinggroup.com

800.865.7221

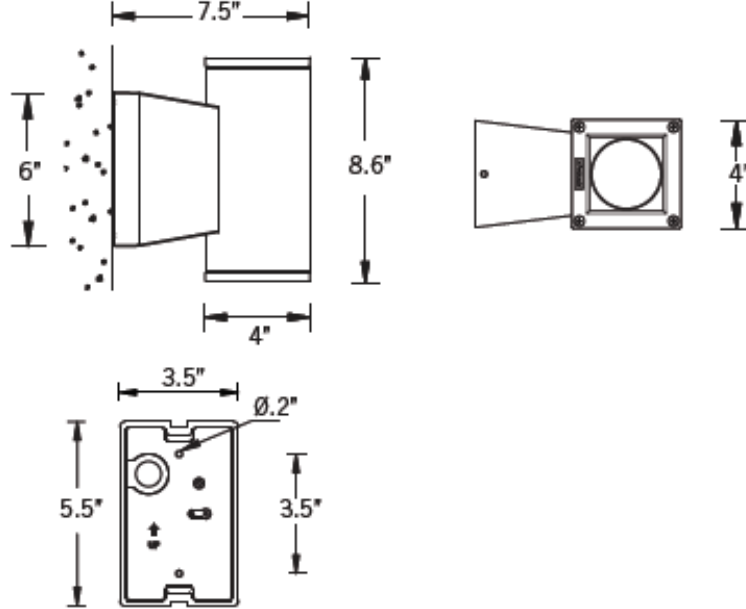
LIGMAN
LIGHTING USA

UJE-30371

Jet 32 Square Surface



15w COB 1107 Lumens
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 5.7 lbs



Mounting Detail

LIGHT FIXTURE TYPES:

TYPE E:
FIXTURE TYPE E IS TO BE USED AT THE EXTERIOR EGRESS DOOR ALONG THE NORTH ELEVATION ONLY, TO PROVIDE REQUIRED EGRESS ILLUMINATION. IT IS PROVIDED WITH A SOLID HOUSING AT THE TOP AND SIDES, SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM NEIGHBORING PROPERTIES. ALL ILLUMINATION IS DIRECTED DOWNWARDS TO THE GROUND PLANE.

ARCHITECT

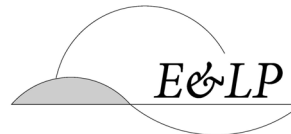
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PRINCETON, NJ 08542

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LIGHTING

DRAWN BY: JL, MP PROJECT NO.: 21929

DATE: 12-23-2019 SCALE: As indicated

SHEET NUMBER

A6-2